



# 88 Beach Road, Bunbury

Heritage Assessment

May 2022



**HOCKING HERITAGE + ARCHITECTURE**

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## 1. Introduction

Hocking Heritage + Architecture has been appointed to provide a brief heritage assessment of no. 88 Beach Road, Bunbury. The place is a simple, but altered, weatherboard cottage which is in variable condition and is not heritage listed nor is it located within a heritage area.

This heritage assessment has been undertaken following the guidelines for assessing heritage places published by Heritage Council.

## 2. Location

The property is located at Lot 1 of Diagram 5380, known as HN 88 Beach Street, Bunbury. The property is located to the south of Bunbury town centre and just north of Big Swamp Reserve. The property is located in a residential area but it close to the commercial/industrial area of East Bunbury.

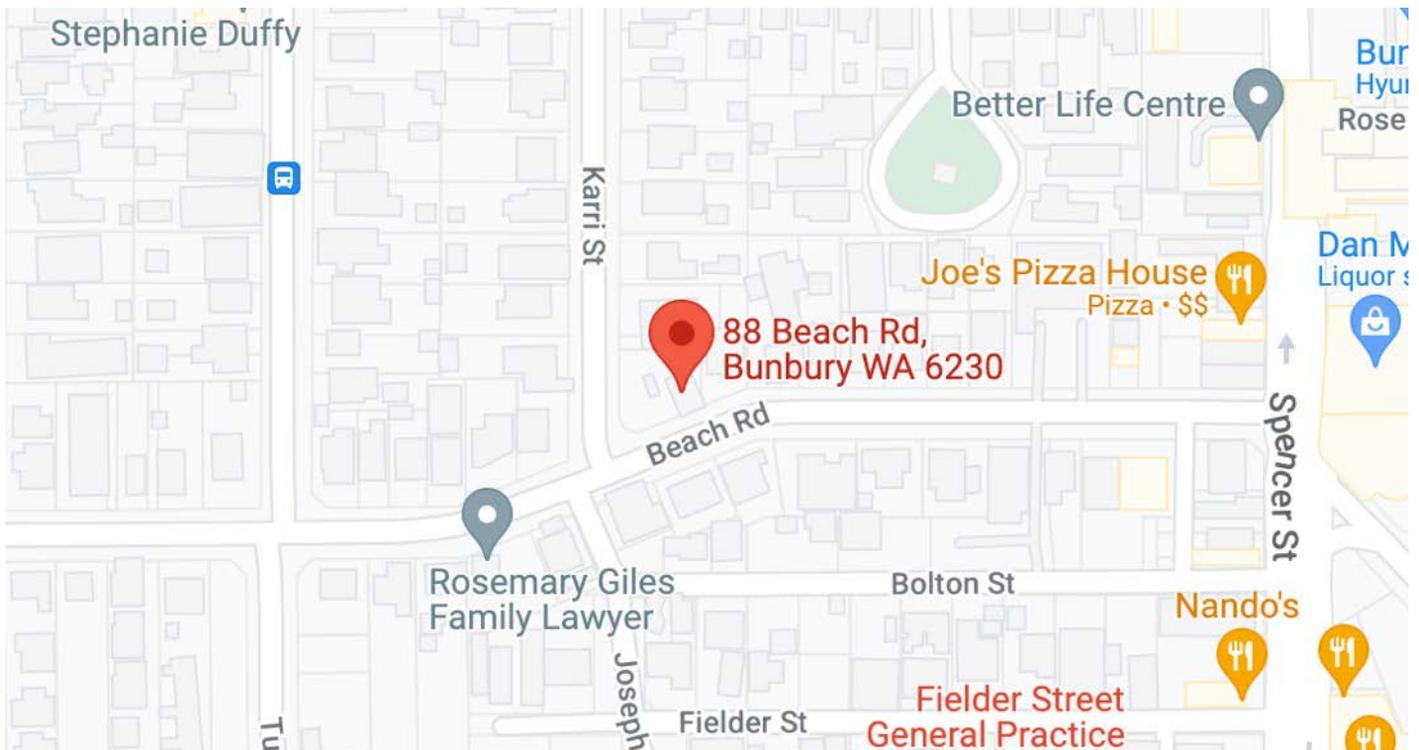


Figure 1: Location of no. 88 Beach Street, Bunbury  
Courtesy Google Maps, 2022

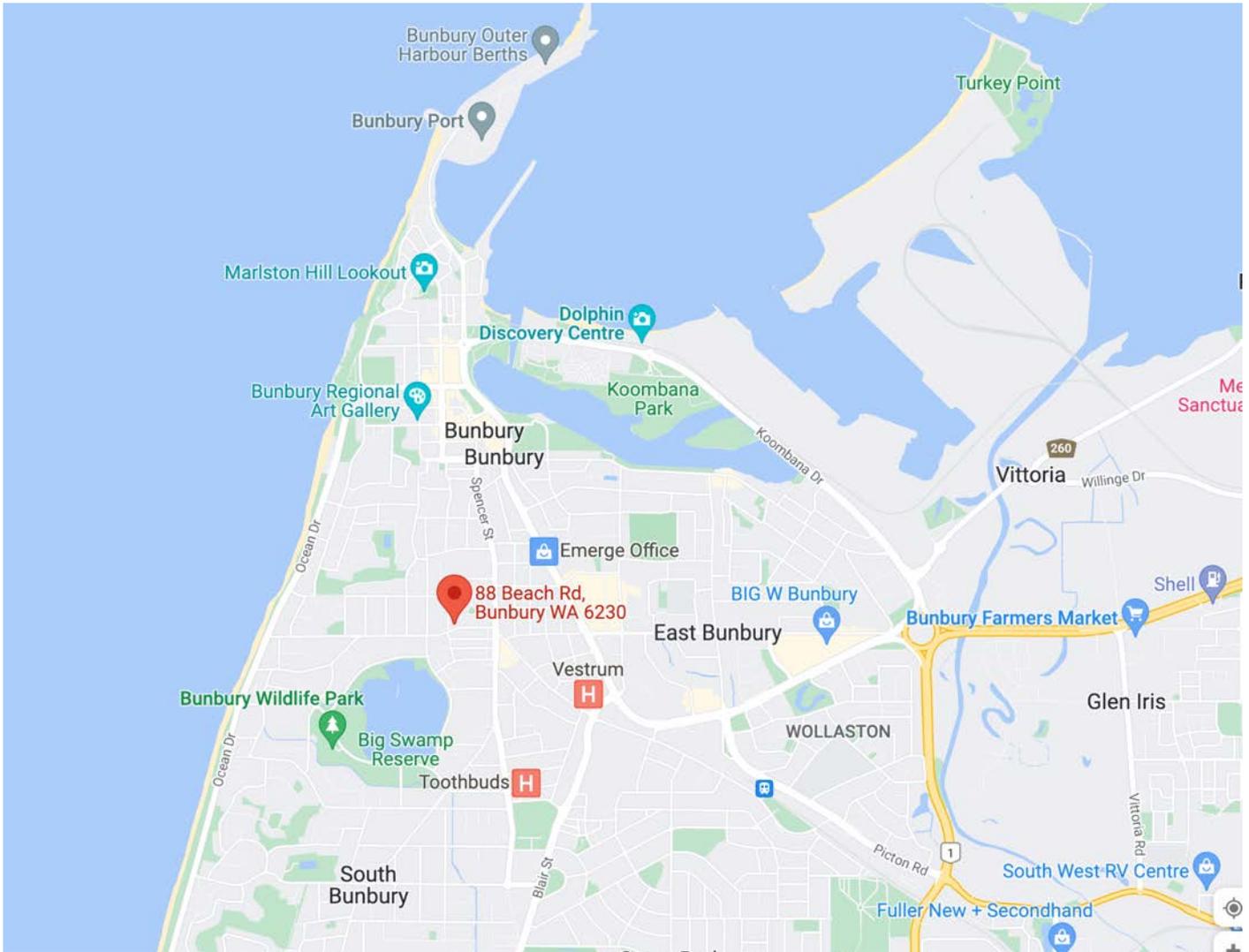


Figure 2: Location of no. 88 Beach Street in a wider Bunbury Context  
Courtesy Google Maps, 2022

### 3. Heritage Listing

A search on the InHerit Database managed by Heritage Council confirms that No. 88 Beach Street, Bunbury is not heritage listed at any level.

A review of the City of Bunbury's heritage survey and heritage list also confirm that the place has no heritage listing.

No. 88 Beach Street does not form part of the East Bunbury Heritage Area

### 4. Historical Context

This area of southern Bunbury was first subdivided in 1891 and this lot was designated as Lot 8 on Plan 318. The lot was surveyed and subdivided in 1921 and three lots were created and shown in Diagram 5380.

It is proposed that the cottage was built c1920 and the formal subdivision undertaken after this date. No detail of the original owner or occupants has been determined in this research.<sup>1</sup> It is possible the house was built as an investment to be rented to a series of occupants.

In 1920, advertising in the *South Western Times* indicates that a timber cottage was for sale on the corner of Beach Road and Karri Road. However it is not clear whether this house was on the eastern or western side of Karri Road. Although it is possible that houses for sale were located on both sides of Karri Road.

*For Sale*

*House, corner of Karri and Beach Roads, 4 rooms, wood, lath and plaster; bathroom, pantry and vestibule. Enquire on premises.*

***South Western Times, 6 March 1920, p. 4.***

*For Sale*

*Jarrah HOUSE Land P, 5 rooms: Corner Karrie-st and Beach-road. For Particulars. Apply to owner on premises – J. C. Tobin.*

***South Western Times, 3 August 1920, p. 2.***

In the late 1930s the place was owned and occupied by labourer George Silvester Gosden Thomas (c1885-1944). On his death in 1944 the property was offered for sale and described as follows.

*.. a four roomed Weatherboard House with iron roof together with kitchen, bath-room and spare room, together with wash house, etc., detached.<sup>2</sup>*

In the same advertisement was a comprehensive list of the furniture and effects within the house also for sale.

The place has had a series of owners since then and aerial photographs of the place since 1959 show that it has changed little in form or extent although the gardens and outbuildings can be seen to have undergone changes. The formal planting on the perimeter of the lot can be seen to have begun in the 1980s.



1959



1988

<sup>1</sup> A certificate of title search will determine ownership and potentially occupancy.

<sup>2</sup> *South Western Times, 24 May 1945, p. 6.*



2003



2007



2010



2012



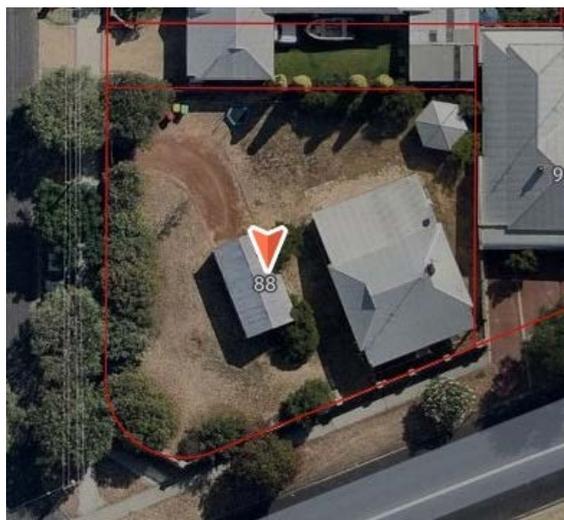
2015



2017



2020



2022

## 5. Property Description

The property known as no. 88 Beach Street, Bunbury is located on the northern side of Beach Street on a corner lot with a return to Kari Street. Street access is from the western boundary on Kari Street. The house is at an angle on the block but positioned parallel with Beach Street. A detached shed/out building is located to the west of the house.

The property is a small timber framed weatherboard cottage with verandah extending across the full width of the façade and a skillion rear addition which has been little altered externally. The roof is hipped, extending down at the same pitch to form the verandah canopy to the front and has a break of pitch to the rear to form the skillion roof. The roof is clad in replacement corrugated metal sheeting. The ridge vents and chimney remain extant.



Figure 3: No. 88 Beach Street taken from Beach Street

The façade is simply presented with a centrally placed single door entrance flanked by openings. To the east of the main entry is a set of multi-paned French doors and to the west, a three section timber framed window. The entry door and French doors are not original however it is possible that French doors of a more simple design formed part of the original construction of the place.



Figure 4: Facade and west elevation of no. 88 Beach Street, Bunbury

The verandah deck is timber without a balustrade with the canopy supported on square timber posts. Centrally positioned steps provide access onto the deck.



Figure 5: Verandah and facade, no. 88 Beach Street

The entire property was originally constructed from jarrah weatherboards however there are now two styles to the boards. The front elevation and west elevations have been clad with a rusticated replacement CFC board. The east elevation is the only elevation with the original jarrah lapped style boards. The rear skillion section has also been clad with modern CFC rusticated boards fully enclosing the rear section – traditionally the rear skillion sections were left partially open with one or both corners enclosed to make small rooms for storage or bathrooms.

The rear elevation is of simple presentation activated with an off-centre recessed door entry and three small paned casement windows.



Figure 6: Rear and side elevations



Figure 7: Rear elevation

Window openings to the side elevations are a mix of styles including a double hung 1-over-1 timber sash, multi-paned timber framed casements and a three-section window containing sashes towards the front of the property.

Internally, the house has been altered with many of the internal walls being removed to open the space up. The wall between the lounge and dining room has been removed leaving only the fireplace/chimney as a feature of the space. The two fires have been removed converting the openings into storage areas. A large opening has been inserted into the rear wall of the dining room creating an internal window or serving hatch between the dining room and the kitchen.



Figure 8: Central fireplace



Figure 9: Serving hatch

The plan form of the property has become confusing due to the removal of walls. A central hallway appears to extend through the property from the front door however due to the loss of walls there is a lack of formality to the hallway.



Figure 10: View towards the front door

The lath and plaster ceilings have been replaced with modern plasterboard with cornice.

Although the floors are timber there is no consistency in board style. The boards to the dining room are butted wide boards, extending in an east-west layout whilst those in the hallway run north-south. The boards towards the rear of the house are narrower and also run north-south. Skirting boards in part are high moulded original elements, replacement skirting boards are more simple and shallower in design.



Figure 11: Small former bedroom



Figure 12: Kitchen



Figure 13: Small front room with replacement window

All internal doors are replacement panelled doors.

The kitchen and bathroom have contemporary fitouts.

The windows are a mix of style and materials with both timber and aluminium frames.

Externally the only other main structure on the lot is an outbuilding located to the west of the house. The outbuilding is of timber framed constructed with corrugated metal cladding to walls and gable roof and timber double doors to the main entrance and double corrugated metal doors to the far end. The windows to the side elevation are protected by a hinged corrugated canopy.

Internally, the walls and ceiling are predominantly unlined showing the underside of the metal cladding. Where the walls have been clad with what is likely to be an asbestos containing material, the lining has been placed inside the framework preserving the aesthetic of the timber frame. The floor is gravel.



Figure 14: Outbuilding



Figure 15: Timber double doors to outbuilding

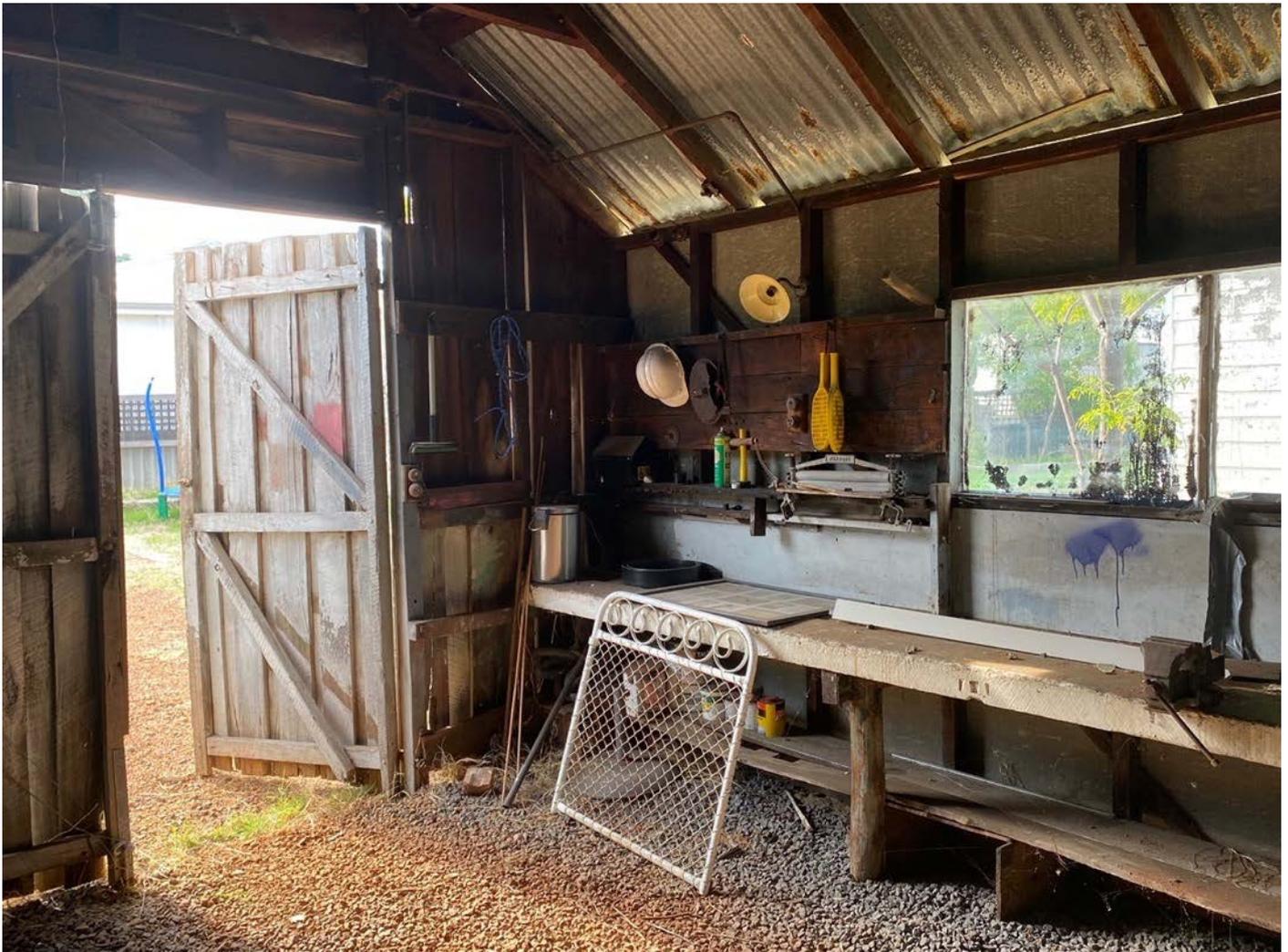


Figure 16: Interior of outbuilding

## 6. Heritage Assessment

Assessment of heritage value is based on a recognised assessment process adopted by the Australia ICOMOS Charter for Place of Cultural Significance, 2013 “the Burra Charter” which has adopted a range of criteria to determine whether a place demonstrates significance or not. A place does not have to fulfill all criteria to be of significance but it does have to demonstrate at least one of the key values.

### a. Aesthetic value

No. 88 Beach Street, Bunbury does demonstrate some significance as an example of a 1920s weatherboard cottage. Although changes have occurred, the original design intent is still discernible. No. 88 Beach Street, Bunbury is not considered to be an exemplar of its style nor a landmark in the streetscape.

### b. Historic value

No. 88 Beach Street, Bunbury demonstrates some historic significance as being an example of an early residence in the area.

The property is not considered to be a technical or creative achievement of the period. It does not have associations with any important people or events.

### c. Research value

No. 88 Beach Street, Bunbury does not demonstrate any scientific or research value.

**d. Social value**

No. 88 Beach Street, Bunbury demonstrates little social value for being an example of an early residence in the area and makes a minimal contribution to the community's sense of place.

**e. Rarity**

No. 88 Beach Street, Bunbury does not demonstrate rarity value. It is not a rare property type in the locality and does not demonstrate any unique construction methods.

**f. Representativeness**

No. 88 Beach Street, Bunbury is representative of its type. Due to the changes that have occurred, the level of representativeness has been diminished however its original design intent and building form remains visible.

**g. Condition**

No. 88 Beach Street, Bunbury is in variable condition however does not appear to be in a state of structural failure. The overall condition is considered to be fair.

**h. Integrity**

No. 88 Beach Street, Bunbury demonstrates a high level of integrity as it still maintains (or is capable of maintaining) its original function as a residence.

**i. Authenticity**

No. 88 Beach Street, Bunbury demonstrates a low to moderate level of authenticity due to the loss of original fabric both internally and externally and the alteration to the internal planning of the house.

In light of the above, it is considered that no. 88 Beach Street demonstrates some significance, meaning that it has some importance to the heritage of the area. Whilst the changes to the façade are notable they do not detract significantly from the design intent of the place. The interior demonstrates little heritage value due to the high level of change and loss of original fabric that has occurred.

Places that demonstrate some significance are generally regarded as a Category 3 place and are usually not included on any Heritage List that is adopted under a Local Planning Scheme and not afforded any statutory protection. Whilst their retention and conservation is desirable it is not essential. If demolition is granted, it is recommended that an archival record be prepared.

The immediate streetscape context is residential in character although some of the original houses have been converted for alternative use whilst retaining their original residential aesthetic. There are a number of weatherboard houses, the majority of which present with a higher level of authenticity and design quality than the subject property. The immediate context does not present as a coherent streetscape but there is uniformity in scale and massing of the properties. The loss of this building would not interrupt or harm the streetscape significantly.