



LPP-3.1 Local Planning Policy for Spencer Street Activity Corridor Design Guidelines

Date Reviewed: 18 June 2018
Date Adopted: 11 December 2018
Date Commenced: 25 December 2018

Note: This local planning policy is to be read in conjunction with Local Planning Policy 1.1: Administrative Framework and Procedures.

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1 Preliminary

1.1 Citation

This Local Planning Policy is made pursuant to the provisions of 'Division 2- Local planning policies' under 'Part 2- Local planning framework' of 'Schedule 2- Deemed provisions for local planning schemes' of the *Planning and Development (Local Planning Schemes) Regulations 2015*, and may be cited as Local Planning Policy 3.1 Spencer Street Activity Corridor Design Guidelines herein referred to as the 'local planning policy').

1.2 Policy Area

This local planning policy applies to the Spencer Street Activity Corridor as identified in Map 1.

1.3 Policy Application

This local planning policy supplements the provisions of the Local Planning Scheme. Subject to the Scheme, the provisions of this local planning policy apply to land as identified in Map 1 of this local planning policy. Where a provision of this local planning policy is inconsistent with the Scheme, the Scheme prevails.

2 Purpose

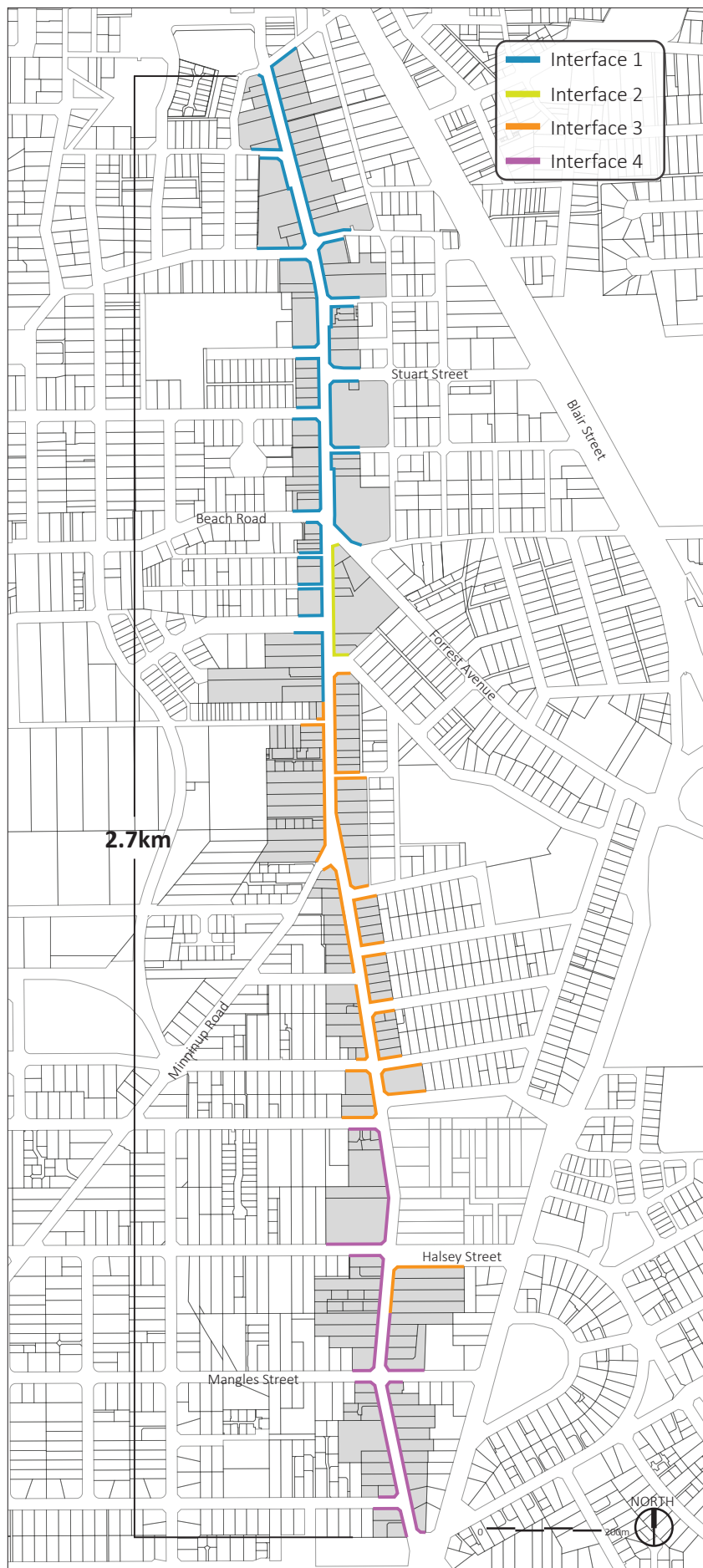
2.1 The purpose of this local planning policy is to set out additional development requirements to those specified within the Scheme and Local Planning Policy: Zone Development Requirements for the extent of the Spencer Street Activity Corridor (Map 1). This local planning policy aims to guide the future development of the corridor in accordance with its design intent as identified within the City of Bunbury Local Planning Strategy (LPS).

Specifically, this local planning policy addresses primary and secondary street setback requirements for each identified interface as well as pedestrian shelter requirements associated with developments with a nil setback.

3 Objectives

3.1 In accordance with the Aims of the Scheme and objectives of the relevant zone, all development is to achieve the following outcomes within the Spencer Street Activity Corridor-

- (a) to guide the transition of land uses to a mix of commercial and residential uses over time;
- (b) to enable a pedestrian-orientated mixed use street environment that support an active and vibrant streetscape;
- (c) to guide the (re)development of non-residential and residential uses in strategic locations that complements the hierarchy of activity centres with a predominantly commercial amenity that meets both the employment and higher density housing needs of the City;
- (d) to enable the revitalisation of local areas along designated activity corridors through their redevelopment as mixed use precincts within improved urban design efficiency, safety, and attractiveness; and
- (e) encouraging continuous and consistent building setbacks to street frontages that provide for pedestrian shelter and the future Spencer Street road design.



Map 1: Spencer Street Activity Corridor Interfaces

4 Spencer Street Activity Corridor Design Standards

4.1 Interface 1 - 'Mixed Use - Commercial Zone'

4.1.1 Interface location and intent

Interface 1 comprises the 'Mixed Use - Commercial Zone' from Cornwall Street to Francis Street. The long term vision for Interface 1 includes the development of a vibrant, active and pedestrian friendly mixed use environment with a high to moderate level of activation.

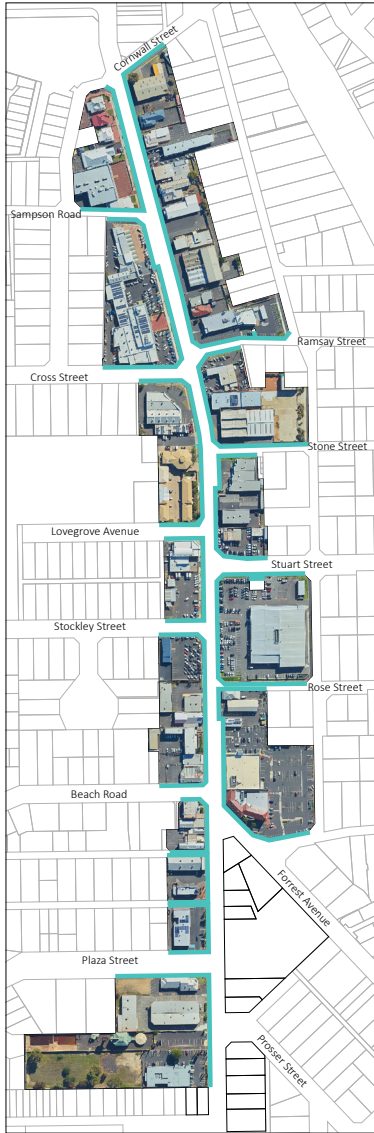


Figure 1: Interface 1

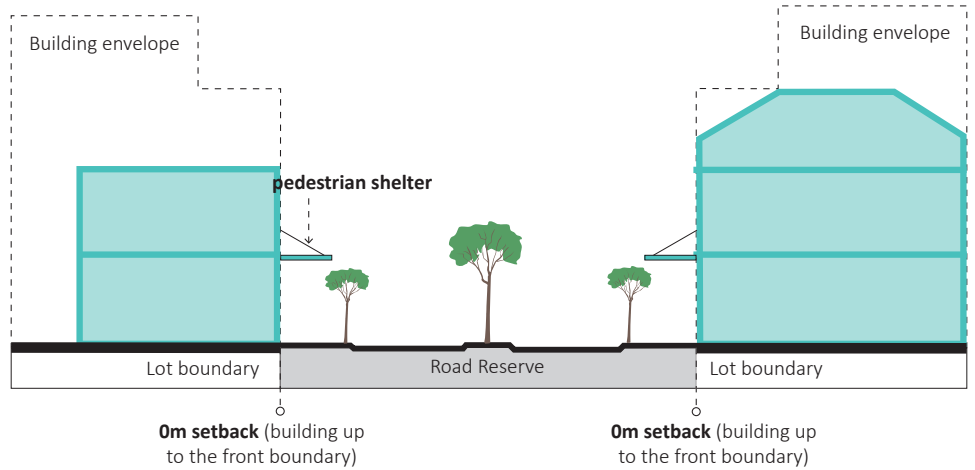


Figure 1.1 Section View (not to scale)
Indicative Only

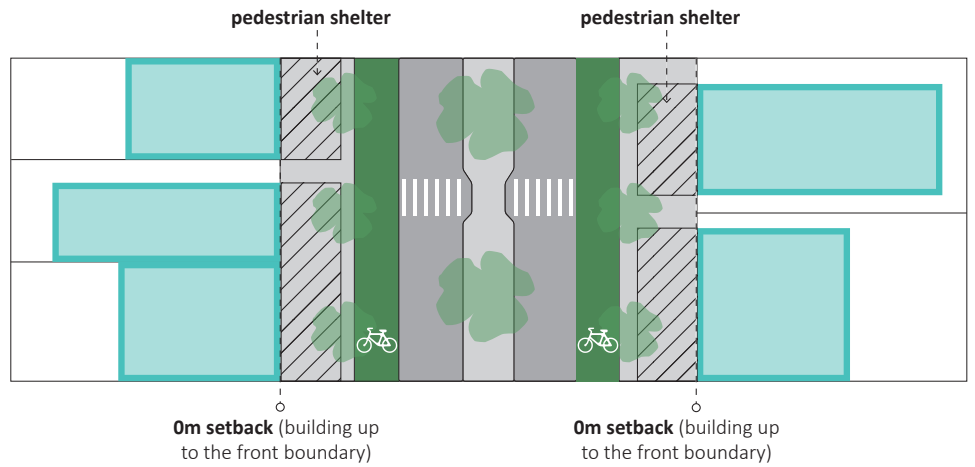


Figure 1.2 Plan View (not to scale)
Indicative Only

4.1.2 Table 1: Interface 1 Design Standards

Design Element	Interface 1
Primary street setback	Nil (0m)
Secondary street setback	Minimum nil
Pedestrian shelter [cl 4.5]	Continuous pedestrian shelter for the full Spencer Street frontage
Landscaping ¹	-

Note: 1. Landscaping is not required in the front or secondary street setback area when development is built to a nil (0m) setback. Where development is set back from the front boundary, landscaping is to be in accordance with the R-Codes and relevant local planning policy.

4.2 Interface 2 - 'Neighbourhood Centre Zone'

4.2.1 Interface location and intent

Interface 2 comprises the Spencer Street frontage of the Plaza Neighbourhood Centre. The long term vision for Interface 2 includes the development of a vibrant, active and pedestrian friendly mixed use environment with a high level of activation.



Figure 2: Interface 2

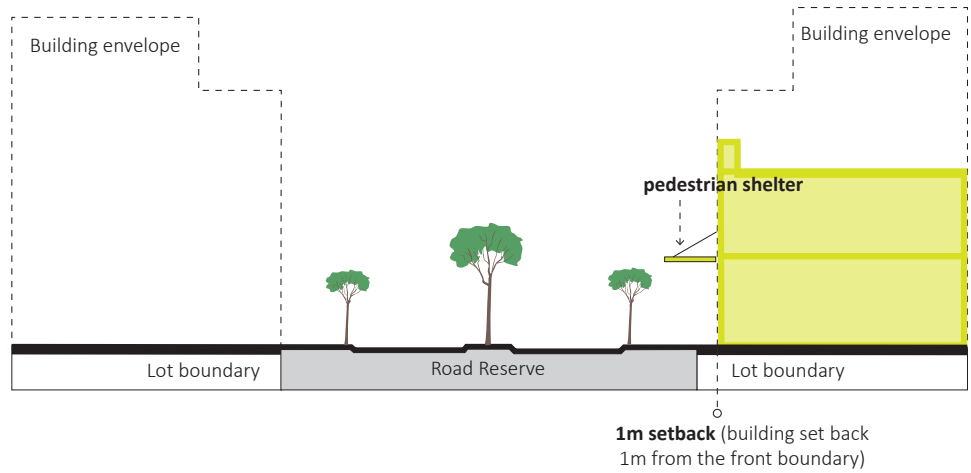


Figure 2.1 Section View (not to scale)
Indicative Only

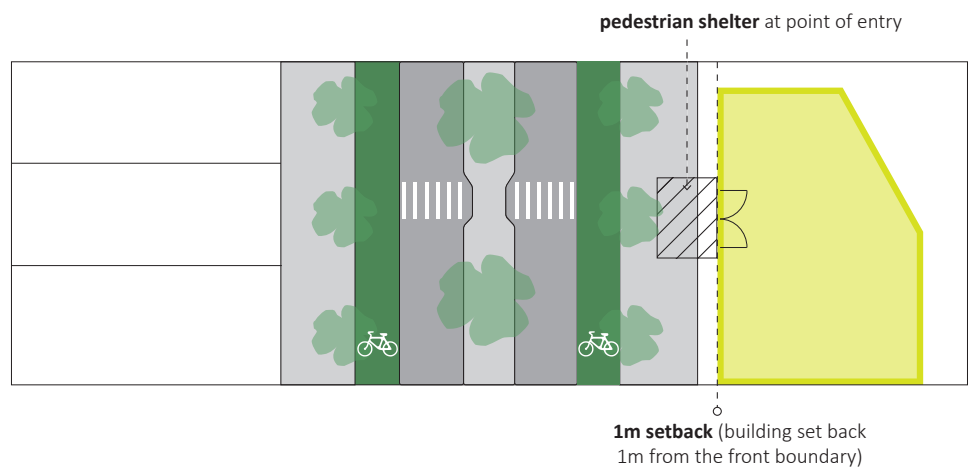


Figure 2.2 Plan View (not to scale)
Indicative Only

4.2.2 Table 2: Interface 2 Design Standards

Design Element	Interface 2
Primary street setback	Min 1m
Secondary street setback	Minimum nil
Pedestrian shelter [cl 4.5]	Pedestrian shelter is to be provided at the points of entry
Landscaping ¹	-

Note: 1. Landscaping is not required in the front or secondary street setback area when development is built to a nil (0m) setback. Where development is set back from the front boundary, landscaping is to be in accordance with the R-Codes and relevant local planning policy.

4.3 Interface 3 - 'Mixed Use - Residential Zone' and 'Local Centre Zone'

4.3.1 Interface location and intent

Interface 3 comprises the 'Mixed Use - Residential Zone' along Spencer Street from Prosser Street to Halsey Street, as well as a local centre on the corner of Spencer Street and Constitution Street.

The long term vision for Interface 3 includes the development of a pedestrian friendly mixed use environment with a residential focus, including a moderate to low level of activation.



Figure 3: Interface 3

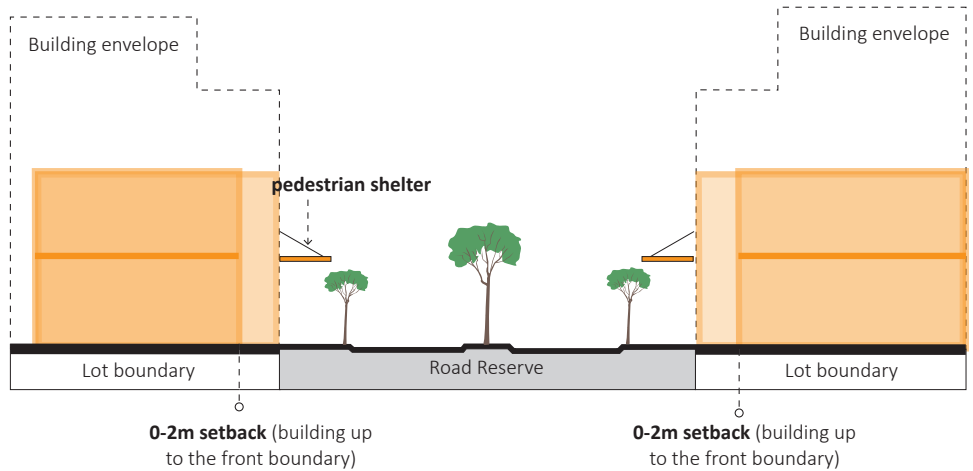


Figure 3.1 Section View (not to scale)
Indicative Only

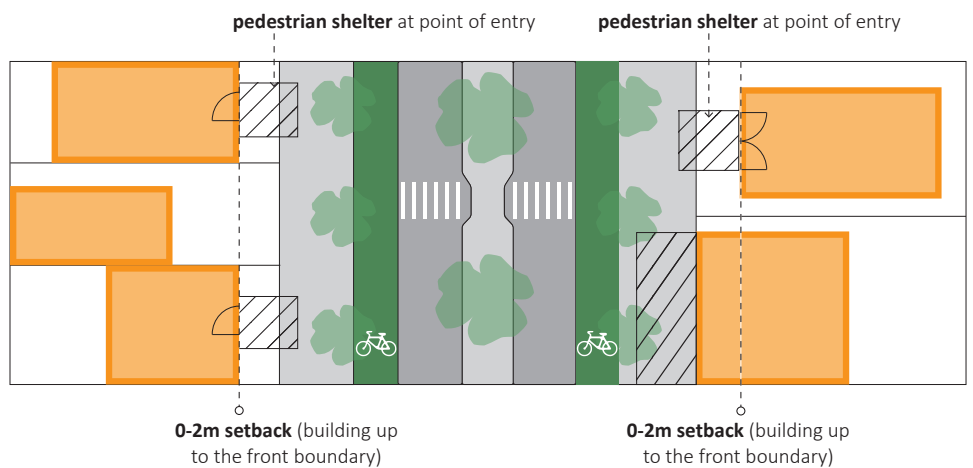


Figure 3.2 Plan View (not to scale)
Indicative Only

4.3.2 Table 3: Interface 3 Design Standards

Design Element	Interface 3
Primary street setback	Min = nil (0m) Max = 2m
Secondary street setback	Minimum nil
Pedestrian shelter [cl 4.5]	Nil (0m) setback - Continuous pedestrian shelter for the full Spencer Street frontage > 0m setback - Pedestrian shelter is to be provided at the points of entry
Landscaping ¹	-

Note: 1. Landscaping is not required in the front or secondary street setback area when development is built to a nil (0m) setback. Where development is set back from the front boundary, landscaping is to be in accordance with the R-Codes and relevant local planning policy.

4.4 Interface 4 - 'Residential Zone'

4.4.1 Development shall be in accordance with the R-Codes and relevant local planning policies.

4.5 Pedestrian Shelter

- (a) The ground floor of a building containing non-residential uses located must provide for a cantilevered or suspended awning or verandah that provides shade and weather protection for pedestrians along the full extent of the primary street building frontage and along half the extent of the secondary street building frontage (excluding vehicle access points and rear laneways) to the specifications of the local government, subject to heritage requirements.
- (b) The cantilevered or suspended awning or verandah must have:
 - (i) minimum height of 2.75m above natural ground level;
 - (ii) maximum height of 4.5m;
 - (iii) minimum horizontal distance of 2.5m (excluding instances to comply with (iv)) ; and
 - (iv) setback at least 600mm from the kerb.

5 Variations to Development Requirements and Standards

5.1 Variations

Development in accordance with this local planning policy is deemed-to-comply. However, alternative solutions may be considered subject to demonstration that the proposed land use and/or development is in keeping with the intent of the Scheme and local planning policy to the satisfaction of the local government.

Where an application for development approval proposes a variation to the development standards, the applicant shall submit justification prepared in accordance with clause 63(1) of the deemed provisions, to the specifications and satisfaction of the local government, to demonstrate that the development is consistent with the objective(s) and design principles of the local planning policy.

5.2 Variations to Building Setbacks

- (a) Development setback requirements may vary where a lot/development site is:
 - (i) designed to allow for alfresco areas or public plazas subject to the discretion of the local government;
 - (ii) included on the Heritage List or is located within a Heritage Area, subject to Part 3 of the deemed provisions; and/or
 - (iii) located within a local planning policy and/or activity centre plan and/or local development plan area, where building setbacks may be in accordance with the design guidelines of the relevant local planning policy and/or activity centre plan and/or local development plan.

6 Meaning of Terms

6.1 The meaning of specific words and expressions relevant to this local planning policy are given below:

- (a) **'Active Frontage'** means building frontage which contains uses that promote both activity on the street and active visual engagement between the street and the ground floor of the building.
- (b) **'Activity Corridor'** means a direct connection between activity centres that offer a variety of mixed land uses and support public transport.
- (c) **'Building Envelope'** means the area of land within which all buildings and effluent disposal facilities on a lot must be contained.
- (d) **'Interface'** means where the front and/or side lot boundary and the public domain abut.
- (e) **'Setback'** means the horizontal distance between a wall at any point and an adjacent lot boundary, measured at right angles (90 degrees) to the boundary.