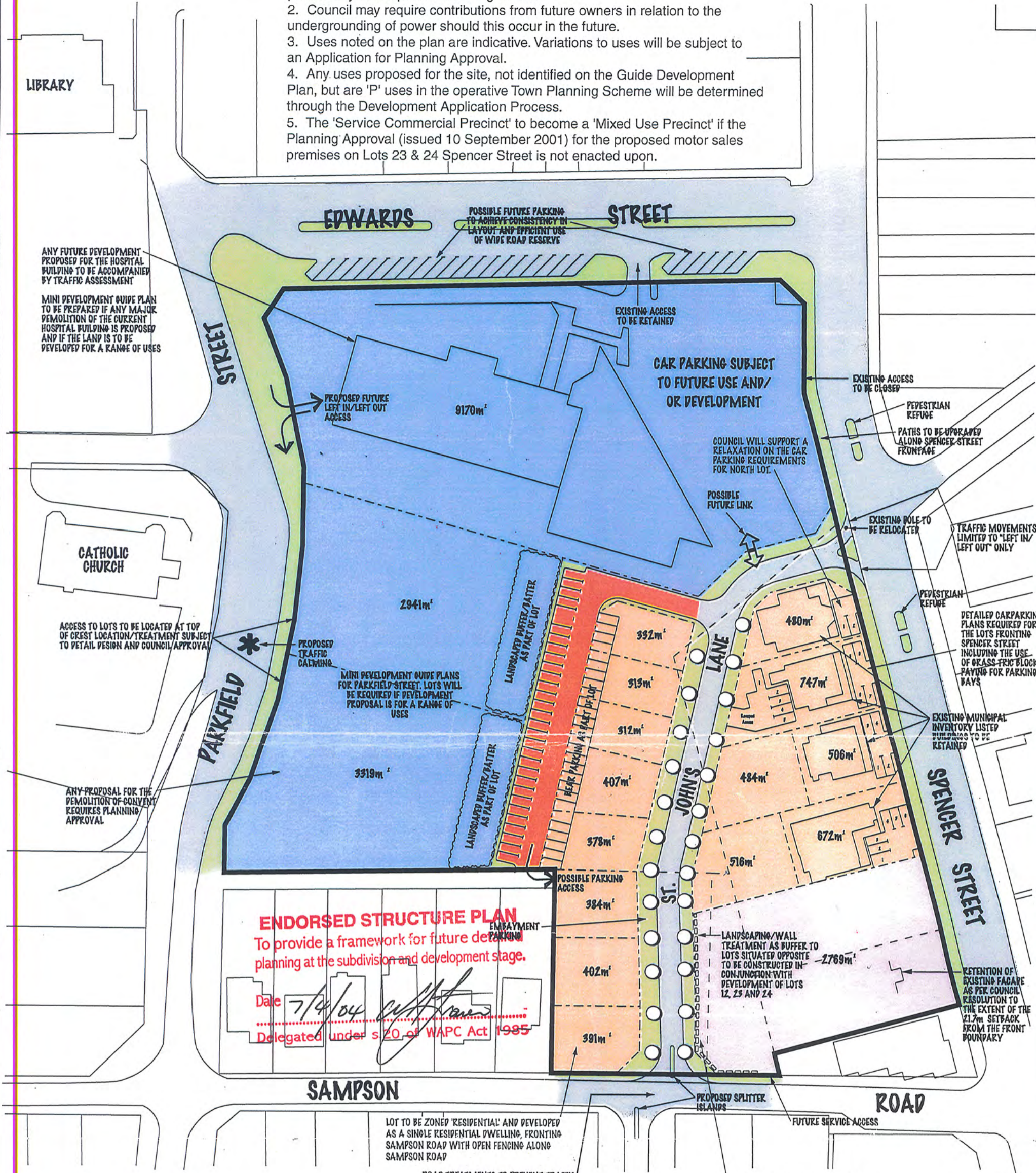


- NOTE: 1. Council all require the preparation of Development Design Guidelines prior to any development occurring on-site.  
 2. Council may require contributions from future owners in relation to the undergrounding of power should this occur in the future.  
 3. Uses noted on the plan are indicative. Variations to uses will be subject to an Application for Planning Approval.  
 4. Any uses proposed for the site, not identified on the Guide Development Plan, but are 'P' uses in the operative Town Planning Scheme will be determined through the Development Application Process.  
 5. The 'Service Commercial Precinct' to become a 'Mixed Use Precinct' if the Planning Approval (issued 10 September 2001) for the proposed motor sales premises on Lots 23 & 24 Spencer Street is not enacted upon.

THIS PLAN HAS BEEN PREPARED FOR PLANNING PURPOSES. AREAS, CONTOURS AND DIMENSIONS SHOWN ARE SUBJECT TO SURVEY.



**ENDORSED STRUCTURE PLAN**  
 To provide a framework for future detailed planning at the subdivision and development stage.

Date 7/4/04  
 Delegated under s 20 of WAPC Act 1985

**PRECINCT LAND USE**

- CITY CENTRE** Mixed Use, Car Park, Offices, Residential, Professional Offices, Aged Care, Hotel, Retail/Commercial Consulting Rooms, Lodging House
- MIXED USE** Offices/Commercial, Residential, Professional Offices/Consulting Rooms
- SERVICE COMMERCIAL** Service Commercial, Offices
- PARKING** Private Car Park

# GUIDE DEVELOPMENT PLAN

FIGURE 2

SCALE 1:1000 DATE JUNE 2002

PLAN No. 02305P

