

## CONDITIONS

Town Planning Scheme No.7 (The Scheme) and relevant Local Planning Policies is varied in the following manner:

### Conditions

#### Setbacks

- Setbacks shall be in accordance with the plan, except Lots 81 and 82 where condition 2 applies;
- Lots 81 & 82 shall be set back a minimum of 2m from both primary and secondary street frontages.

#### Design Standards

- All development shall conform to the following Design Standards
  - The primary orientation of buildings shall be to the public streets;
  - The elevation of the buildings shall provide a continuous weather protection;
  - A high level of articulation and architectural interest shall be provided, such as the use of glazed areas, mix of textures/materials and window treatments;
  - The use of colour to encourage visual interest and differentiate between materials and surfaces and ensure a high standard of finish;
  - Signage that is integrated within a building elevation;
  - Where Lots 81 & 82 are developed separately the design of the buildings must be complimentary and consistent in appearance;
  - A raised building height, up to a maximum of 12m above natural ground level, is encouraged for Lots 81 & 82 to promote sense of scale.

#### General

- Refuse, storage and servicing shall be screened from Higgins Street, Ward Street and Doris Street and designed to ensure user safety and security.
- Minor variations to the provision of this Local Development Plan may be permitted, subject to approval by the City of Bunbury.
- Car parking provision shall be provided in locations identified on the plan and be calculated in accordance with Table 2 of the Scheme.
- Pedestrian access shall be provided in locations identified in the plan and form part of a landscaping plan that promotes safety and street appeal through appropriate species selection and lighting.
- Vehicular access shall be limited to 3 points along Ward Street as generally identified in the plan with additional access being available via the Right of Way. Temporary access arrangements may be considered by the City of Bunbury for individual developments.
- Owners will be required to enter into cross-easement agreements, in form of a s70a Notice; Easements in gross; or other legal mechanism which includes the City of Bunbury as a party, in order to secure reciprocal rights of access across adjacent lots as a means to rationalising access to the surrounding road network.
- Land uses and development standards are to be in accordance with Special Use 53 of the Scheme.
- All development applications shall demonstrate compliance with the approved 'Infrastructure Implementation Plan' for Lots 73 to 81 to the satisfaction of the City of Bunbury.

## LEGEND

- Existing Cadastre
- Existing Road Edge
- Subject Land

### Building

- Elevation Treatments
- Prominent Corner

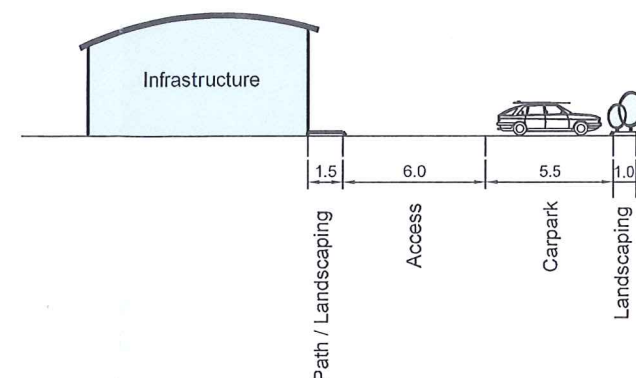
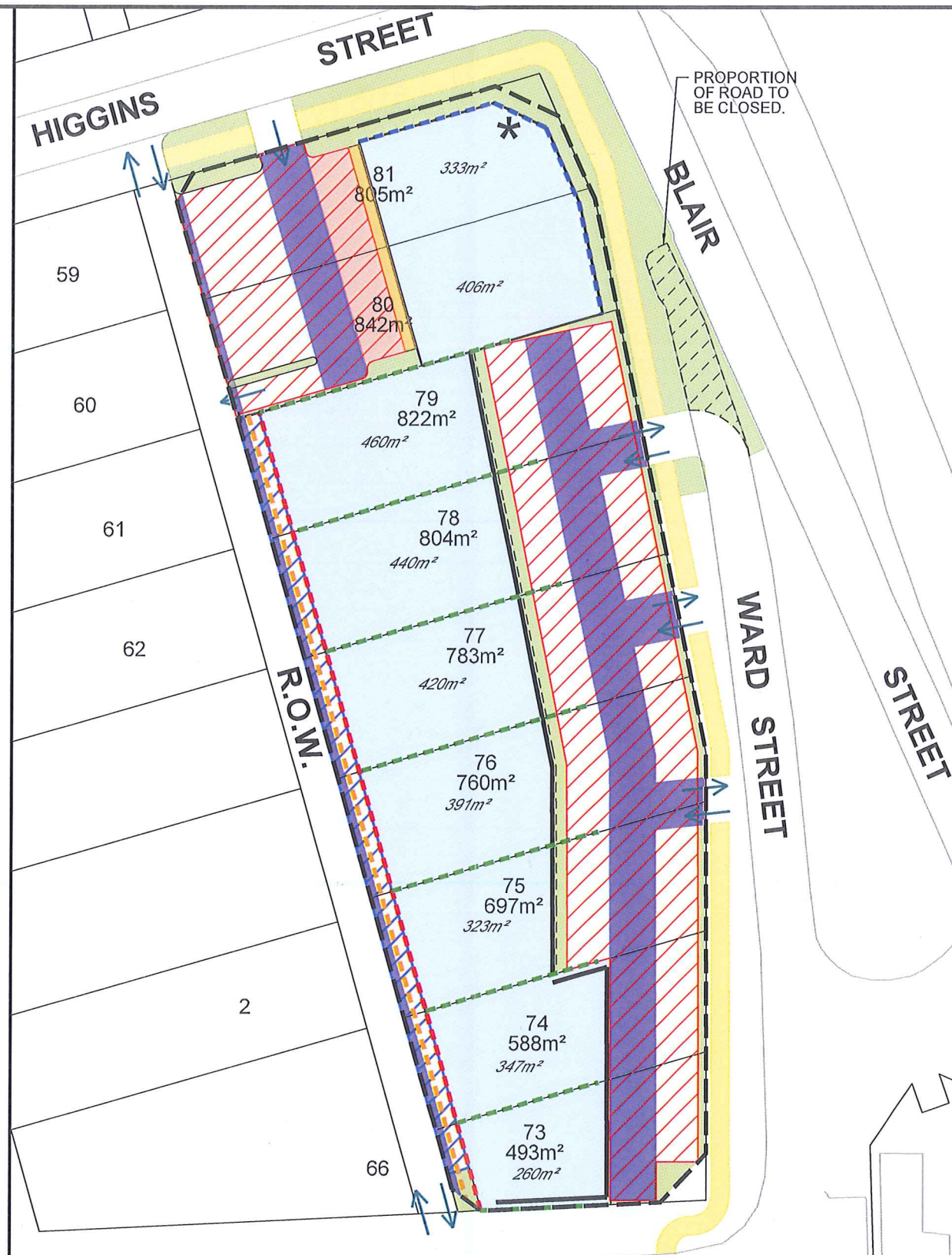
123m<sup>2</sup> Building Envelope (Indicative Areas)

### Car Parking and Access

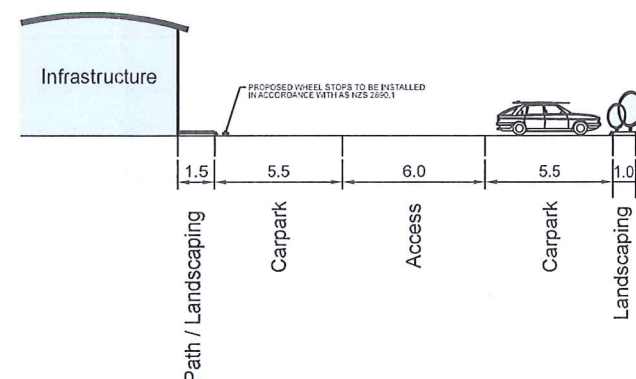
- Dual Use Path
- Landscape Area
- Car Parking (Public)
- Staff and Servicing Parking and Access
- Extended Building Envelope of Lots 81 & 80 (Dependant on Parking Requirements)
- Future Reciprocal Area as per Condition 9
- Access Point

### Setbacks

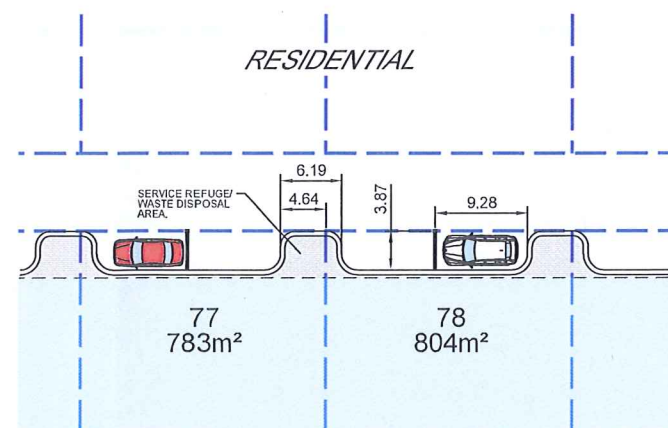
- 3m Rear Ground Level Building Setback
- 0m Setback
- 1.5m Rear First Floor Building Setback
- Setbacks as per Condition 2



LOTS 73 TO 74 - TYPICAL CROSS SECTION  
SCALE: N.T.S.



LOTS 75 TO 79 - TYPICAL CROSS SECTION  
SCALE: N.T.S.



INDICATIVE LANEWAY TREATMENT  
SCALE: N.T.S.

# LOCAL DEVELOPMENT PLAN LOTS 73 TO 81 WARD STREET BUNBURY

Adopted by Resolution of the City of Bunbury  
at the ORDINARY meeting of the Council  
held on the 1<sup>ST</sup> day of SEPTEMBER 2015  
Mayor [Signature]  
CEO [Signature]

7.5m 0 18.75 37.5m  
1:375 @ A1 or 1:750 @ A3  
ALL DISTANCES ARE IN METRES

REVISION	DESCRIPTION	DRAFTER	DATE
J			
I			
H			
G			
F			
E			
D			
C	MODIFICATIONS TO SIGNING BLOCK	TDB	18.09.2015
B	TRUNCATION ADDED TO LOTS 81 AND 73	TDB	20.05.2015
A	LOTS 81 & 82 SETBACK CHANGED TO 2m	TDB	04.05.2015

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ORIGINAL PLANNER:	GB
ORIGINAL DRAFTER:	TDB
CREATED DATE:	17.03.2015
AERIAL DATA:	N/A
CADASTRAL DATA:	MGA
TOPOGRAPHIC DATA:	N/A



11130P-DP-04C



As advised.

# INFRASTRUCTURE IMPLEMENTATION PLAN LOTS 73 TO 81 WARD STREET BUNBURY



Adopted by Resolution of the City of Bunbury  
at the ORDINARY meeting of the Council  
held on the 1ST day of SEPTEMBER 2015  
Mayor [Signature]  
CEO [Signature]

## INFRASTRUCTURE IMPLEMENTATION STRATEGY LOTS 73 TO 81 WARD STREET BUNBURY

### DUAL USE PATH

1. Each lot owner will be required as a condition of development to fund the cost of constructing the portion of the Dual Use Path for the length of its frontage as indicated on the Detailed Area Plan. Alternatively, Council may require the construction of the portion of path.

### RIGHT OF WAY

2. Each lot proposing to develop will be required to construct the ROW for the full frontage of their property boundary to the satisfaction of Council. This will include managing all drainage runoff from the constructed section of the ROW within the proposed developments property boundary.
3. It will be the developers responsibility to connect the constructed ROW to the nearest existing road network so that:
  - 2 wheel drive vehicle access is achievable.
  - It is surfaced to restrict dust being generated by vehicles using the ROW.
  - Does not direct any stormwater runoff into adjoining properties.
4. The developer will be required to agree in writing to maintaining the interim ROW access connection to the satisfaction of Council.

### SERVICES

5. The cost of upgrades for water, sewerage, power, gas and telecommunications resulting from development within the Detailed Area Plan shall be met by each lot owner at the time of development.
6. Clause 5 does not prevent lot owners from reaching cost share agreements between themselves.

### PARKING AND ACCESS

7. Reciprocal rights of access to car parking is to be considered as a condition of development

### ROAD AND INTERSECTION UPGRADING

8. A traffic study has determined that no road or intersection upgrading is required other than crossovers identified on the Detailed Area Plan and such works will be undertaken by lot owners as a condition of development approval.
9. Road truncations identified on the Detailed Area Plan are to be ceded free of cost as a condition of development approval.
10. Each lot owner will be required as a condition of Development to contribute towards the closure and rehabilitation works of the portion of Ward Street indicated on the Detailed Area Plan to the satisfaction of Council.



CONTEXT PLAN