



LG Ref: DA/2022/231/1
DAP Ref: DAP/22/02395

Enquiries: (08) 6551 9919

Mr Nik Hidding
Hidding Urban Planning
PO Box 920
Subiaco 6904

Dear Mr Hidding

REGIONAL JDAP - CITY OF BUNBURY - DAP APPLICATION - DA/2022/231/1 - DETERMINATION

Property Location:	92 (Lot 33, 34, & 102) Blair Street, Bunbury
Application Details:	Motor Vehicle Wash, Fast Food Outlet with Drive Through Facility, and Pylon Signs

Thank you for your Form 1 Development Assessment Panel (DAP) application and plans submitted to the City of Bunbury on 13 December 2022 for the above-mentioned development.

This application was considered by the Regional JDAP at its meeting held on 23 March 2023, where in accordance with the provisions of the City of Bunbury Local Planning Scheme No.8, it was resolved to **approve** the application as per the attached notice of determination.

Should the applicant not be satisfied by this decision, an application may be made to amend or cancel this planning approval in accordance with regulation 17 and 17A of the *Planning and Development (Development Assessment Panels) Regulations 2011*.

Please also be advised that there is a right of review by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*. Such an application must be made within 28 days of the determination, in accordance with the *State Administrative Tribunal Act 2004*.

Should you have any queries with respect to the conditions of approval, please contact Ms Alice Baldock on behalf of the City of Bunbury on 08 9792 7061.

Yours sincerely,

DAP Secretariat

29 March 2023

Encl. DAP Determination Notice
Approved Plans

Cc: Ms Alice Baldock
City of Bunbury



Planning and Development Act 2005

City of Bunbury Local Planning Scheme No.8

Regional Joint Development Assessment Panel

**Determination on Development Assessment Panel
Application for Planning Approval**

Property Location: 92 (Lot 33, 34, & 102) Blair Street, Bunbury

Application Details: Motor Vehicle Wash, Fast Food Outlet with Drive Through Facility, and Pylon Signs

In accordance with regulation 8 of the *Planning and Development (Development Assessment Panels) Regulations 2011*, the above application for planning approval was **granted** on 23 March 2023, subject to the following:

1. **Accept** that the DAP Application reference RDAP/22/2395 is appropriate for consideration as a 'Service Station', 'Motor Vehicle Wash' and 'Fast Food Outlet' land use and is compatible with the objectives of the zoning table in accordance with Clause 16 of the City of Bunbury Local Planning Scheme No. 8 and the Greater Bunbury Region Scheme.
2. **Approve** DAP Application reference RDAP/22/2395 and accompanying plans in accordance with Clause 68 of Schedule 2 (Deemed Provisions) of the Planning and Development (Local Planning Schemes) Regulations 2015, the provisions the City of Bunbury Local Planning Scheme No. 8 and the Greater Bunbury Region Scheme, subject to the following conditions:

Conditions

General

1. This decision constitutes development approval only and is valid for a period of four years from the date of approval. If the subject development is not substantially commenced within the specified period, the approval shall lapse and be of no further effect.
2. All development shall be in accordance with the approved development plans (attached) which form part of this development approval.
3. All works required to satisfy a condition of this approval are required to be installed / constructed and maintained in accordance with the approved plans and conditions of approval for the life of the development.
4. At all times, the development the subject of this development approval must comply with the definition of Service Station, Fast Food Outlet and Motor Vehicle Wash as contained in Part 6 of the City of Bunbury Local Planning Scheme 8.
5. At all times the Fast Food Outlet, including the drive through facility, must be used in association with the Service Station retail building/convenience store.



6. At all times, the hours of operation for the dog wash are restricted to Monday to Saturday 7am to 7pm and Sunday (including public holidays) 9am to 7pm.
7. All deliveries shall be restricted to Monday to Saturday 7am to 7pm and Sunday (including public holidays) 9am to 7pm.
8. At all times, waste collection vehicles shall be restricted to Monday to Saturday 7am to 7pm and Sunday (including public holidays) 9am to 7pm.

Luminance and Lighting Requirements

9. The Blair Street pylon sign shall be limited to a maximum height of 7m above natural ground level.
10. The Zoe Street pylon sign shall be setback a minimum of 2.5m from the western lot boundary.
11. Prior to occupation, the applicant shall submit a Lighting Impact Assessment (LIA) prepared by a suitably qualified lighting consultant to determine the appropriate sign luminance levels and compliance with AS4282:2019. The site shall operate in accordance with the approved LIA at all times.
12. The sign is to only display consecutive static messages in either text or pictographic format only (no video or animation). The sign is to display only single, self-contained messages, which is to have a dwell duration of not less than 40 seconds.
13. Illuminated signage is not to flash or pulsate and shall be of an illumination level that is suitable to off-street ambient lighting.
14. At all times the advertising device is not permitted to display third party advertising.
15. The sign shall be professionally made and kept clean and maintained free of dilapidation at all times.
16. Before the development is occupied, a lighting plan must be submitted to the City of Bunbury for approval and must address security lighting for the site's pedestrian path connection to Blair Street in accordance with CPTED principles. All lighting must be designed to be baffled and maintained at all times to the satisfaction of the City of Bunbury.

Acoustic

17. Prior to submission of the building permit, a qualified acoustic engineer shall review the construction and detailed design drawings and undertake a follow up verification of mechanical plant selections if they differ from those assumed in the endorsed Acoustic Report (Reverberate Consulting dated 18 August 2022 Reference: P191162RP1 and Addendum dated 22 February 2023). Written certification shall be provided to the City of Bunbury confirming that that this review has been completed and the final mechanical plant selections are able to achieve compliance with the Environmental Protection (Noise) Regulations 1997.



18. Prior to occupation of the development, a qualified acoustic engineer shall certify to the satisfaction of the City of Bunbury that all recommendations of the endorsed Acoustic Report (Reverberate Consulting dated 18 August 2022 Reference: P191162RP1 and Addendum dated 22 February 2023) have been implemented. All ongoing operational requirements are to be carried out in accordance with the endorsed Acoustic Report.

Management Plans

19. Prior to the issue of an occupancy permit, a Delivery Management Plan shall be submitted for approval by the City of Bunbury, detailing the hours of fuel and goods delivery, and the methods for entering and exiting the site to the satisfaction of the City of Bunbury. The Delivery Management Plan is to be adhered to for the life of the development.
20. A Construction Management Plan shall be submitted to and approved by the City prior to the commencement of development. The management plan shall include details regarding mitigation measures to address impacts associated with construction works and shall be prepared to the specification and satisfaction of the City. The construction works shall be undertaken in accordance with the approved Construction Management Plan.
21. Before the development commences, the applicant must submit an Operational Management Plan for the approval of the City of Bunbury, which shall include (but not be limited to):
 - a. Management of the use, including overnight between 10pm and 5am daily;
 - b. Management of the drive through facility;
 - c. Onsite waste management.
 - d. Register of complaints and management of complaints.
22. Prior to occupation of the development, the business operator shall provide to the satisfaction of the City of Bunbury an amended Noise Management Plan which details the administrative and operational controls to be implemented to manage noise emissions to comply with the *Environmental Protection (Noise) Regulations 1997*. The approved use may operate 24 hours a day, Monday to Sunday in accordance with an approved Noise Management Plan, which shall include (but not be limited to) noise management in relation to:
 - a. Customer pre-payment and PA announcements;
 - b. Fuel and service deliveries;
 - c. Waste collection.

Amalgamation

23. Prior to occupancy of the development, the following land parcels Lot 33, 34 and 102 Blair Street, Bunbury shall be amalgamated into one certificate of title, with the new title issued and a copy of the new title provided to the satisfaction of the City of Bunbury.



Landscaping

24. The proposed 3m high masonry wall located along Zoe Street (western boundary) shall have a minimum 3m setback from the boundary in accordance with the annotated development plans. The 3m street setback shall be landscaped to the satisfaction of the City of Bunbury with landscaping details being submitted.
25. The proposed colorbond fence, as marked in red on the development plan, be removed or reduced to a maximum height of 0.75m.
26. On-site car parking areas are to be landscaped with shade trees planted at the rate of no less than 1 tree per 8 car parking bays. Species must have a clean trunk to 2m with non-invasive roots.

Before the development is occupied, the landscaping plan shall be updated and provided to the City of Bunbury to include the required shade trees. The approved landscaping plan must be planted, established, and reticulated in accordance with the endorsed landscape plans prior to occupation. These areas must be maintained as landscaped areas at all times and to the satisfaction of the City of Bunbury.

Access and Parking

27. Before the development is commenced, detailed design plans shall be prepared in accordance with relevant Australian Standards, Austroads Guidelines, and City of Bunbury requirements, for all access, carparking and pedestrian movement requirements, to the satisfaction of the City of Bunbury. Once plans are approved construction is to be in accordance with the approved plans and be completed before the development is occupied.
28. At all times, no service delivery access is permitted from Zoe Street. Signage restricting delivery vehicle access must be installed to the satisfaction of the City of Bunbury.
29. Before the development is occupied, detailed design plans for the Blair Street crossovers shall be submitted to the City of Bunbury for approval and include:
 - 'No entry' signage and line marking must be installed at the northern crossover;
 - 'No exit' signage and line marking must be installed at the southern crossover; and
 - Installation of 'one way' signage within the Blair Street median adjacent to the northern crossover.
30. Before the development is occupied, line marking and parking signage must be installed in accordance with the approved plans.
31. Before the development is occupied, the Zoe Street redundant vehicular crossover must be removed and the area, including the road reserve, be reinstated to the satisfaction of the City of Bunbury.
32. Before the development commences, a damage bond to the value of \$5,000 must be paid to the City of Bunbury.



Stormwater and Drainage

33. This property is situated within the 1% Annual Exceedance Probability (AEP) and is susceptible to flooding. The building must have a minimum finished floor level of 1.7 metres AHD in accordance with the City of Bunbury's Local Planning Policy: Development in Flood Affected Areas.
34. Before the development commences, a Stormwater and Drainage Management Plan, prepared in accordance with the Department for Water's Stormwater Management Manual must be submitted for the approval of the City of Bunbury.

The Stormwater and Drainage Management Plan will determine the drainage infrastructure required to support the development and as a minimum it must address

- proposed development;
 - storm events to be managed;
 - onsite-retention for 1:1 year events;
 - onsite-detention for 1:5 year events;
 - overland flow path for larger events;
 - effect of groundwater;
 - use of water sensitive urban design principles;
 - water quality;
 - protection of adjacent / nearby waterways and wetlands; and
 - conclusions / recommendations.
35. Before the development is occupied, the recommendations of the approved Stormwater and Drainage Management Plan must be constructed and implemented to the satisfaction of the City of Bunbury.

Advice Notes

1. This is a development approval only. The applicant/owner is advised that it is their responsibility to ensure that the proposed development complies with all other applicable legislation, local laws and/or license requirements that may relate to the development.
2. The development is subject to the Building Act 2011, Building Regulations 2012 and Building Code of Australia. A separate building permit must be granted before the development commences, where offences occur statutory penalties apply. The applicant/owner is advised to liaise further with the City of Bunbury on (08) 9792 7000.
3. With regards to the lighting plan condition, the plan should address the safety of publicly accessible areas, including pedestrian links and the vehicle accessways, and the suitability of existing lighting for pedestrians along the Blair Street footpath.

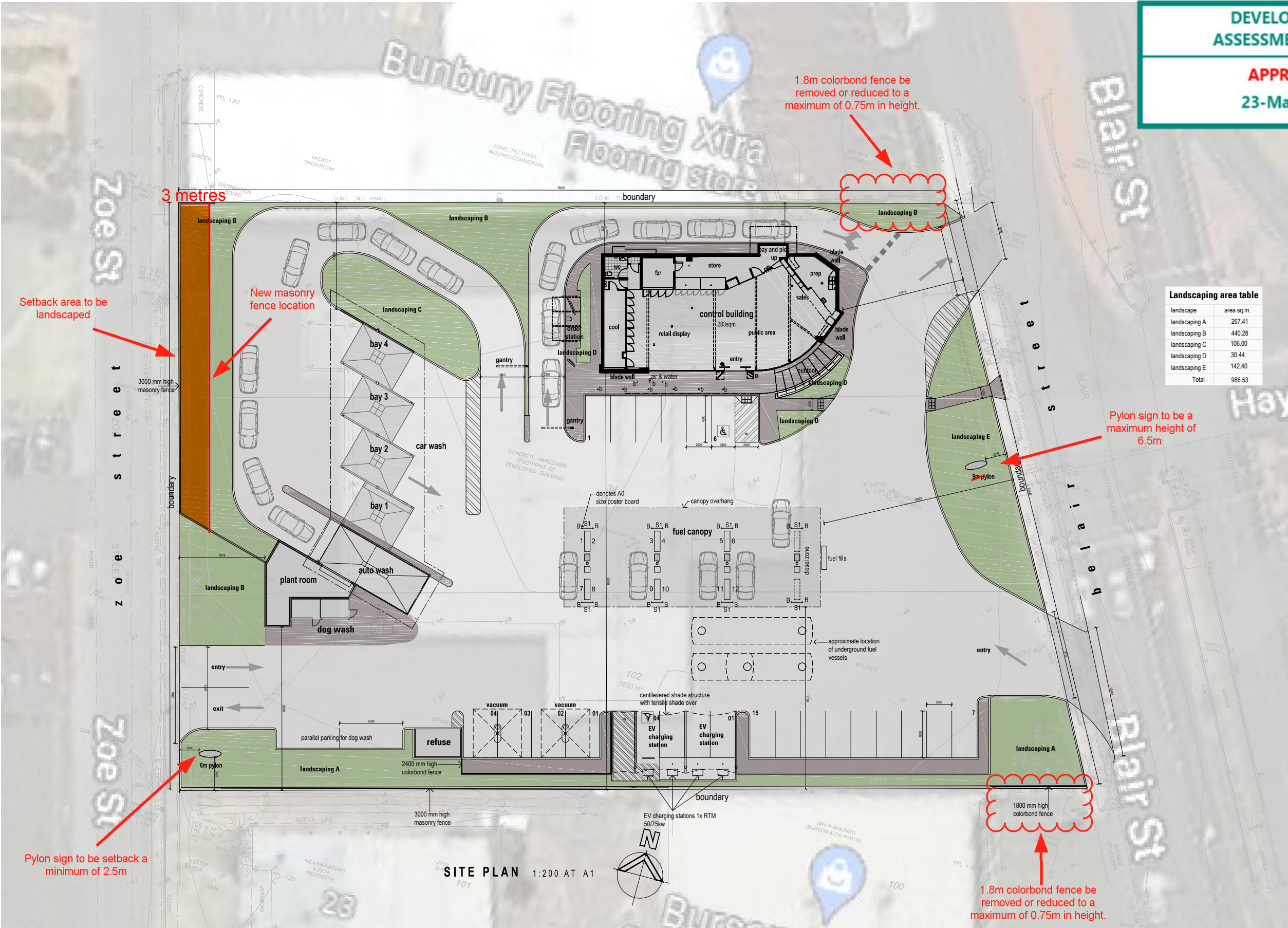


4. With regards to the Acoustic Report, Should there be any deviations in design from the reference drawing set as detailed in the aforementioned acoustic report that affect the findings of the report, additional review and assessment by a qualified acoustic engineer to demonstrate compliance with the Environmental Protection (Noise) Regulations 1997 will be required and any relevant documentation provided to the City of Bunbury for assessment and endorsement.
5. Prior to works commencing, the applicant is required to obtain a works and thoroughfare permit for any works within Council land other than a crossover. A permit application form can be obtained on the City's website www.bunbury.wa.gov.au
6. The City of Bunbury advises that the development the subject of this development approval must comply with the Environmental Protection Act 1986 and the Environmental Protection (Noise) Regulations 1997 in relation to noise emissions and the Environmental Protection (Unauthorised Discharge) Regulations 2004 in relation to discharges into the environment. Further information can be obtained from the City of Bunbury on (08) 9792 7100 or (08) 9792 7000.
7. The development is defined as a "Food Business" under the Food Act 2008. The development must comply with the Food Act 2008 and Food Regulations 2009. Further information can be obtained from the City of Bunbury on (08) 9792 7100 or (08) 9792 7000.
8. The premises and equipment the subject of this development approval is required to comply with clause 3.2.3 of the Australian Food Safety Standards. Regardless of whether a building permit is required, application shall be made to the City of Bunbury for assessment and approval prior to commencing development.
9. The development the subject of this development approval is required to comply with the requirements of the Department of Mines, Industry Regulation and Safety (Resources Safety Section) in relation to the storage of dangerous goods. Further information may be found at www.dmp.wa.gov.au
10. In the event dewatering is proposed, the proponent is advised to contact the Department of Water and Environmental Regulation (DWER) on 9726 4111 for a licence to dewater under the RIWI Act if the proposed activity is to exceed the threshold specified at <https://www.water.wa.gov.au/licensing/water-licensing/exemptions>
11. In the event that the taking of groundwater is proposed for the irrigation of POS/landscaping, the proponent is advised to contact DWER's Bunbury Water licensing branch on 97264111 to discuss any potential water licensing requirements under the *Rights in Water and Irrigation Act 1914*.



12. The proponent is advised that as per Condition 24 of Water Quality Protection Note 25, sufficient detail to the satisfaction of DMIRS and the City with regards to hydrocarbon management and protection of the PDWSA, consistent with DWER's Water Quality Protection Notes (WQPN) as appropriate:
- WQPN 10: *Contaminant spills – emergency response plan*
 - WQPN 56: *Tanks for fuel and chemical storage near sensitive water resources.*
 - WQPN 65: *Toxic and hazardous substances*
 - WQPN 49: *Service Stations*

Where an approval has so lapsed, no development shall be carried out without further approval having first been sought and obtained, unless the applicant has applied and obtained Development Assessment Panel approval to extend the approval term under regulation 17(1)(a) or local government approval under regulation 17A of the *Planning and Development (Development Assessment Panels) Regulations 2011*.



NEW SERVICE STATION COMPLEX

92 BLAIR STREET, BUNBURY WA

PLANNING

DEVELOPMENT
ASSESSMENT PANEL

APPROVED

23-Mar-2023

3000 mm high
masonry fence

drive thru
auto wash

drive thru
gantry

face brickwork

non illuminated
signage panel

LED signage panel

white painted screen to
mechanical plant

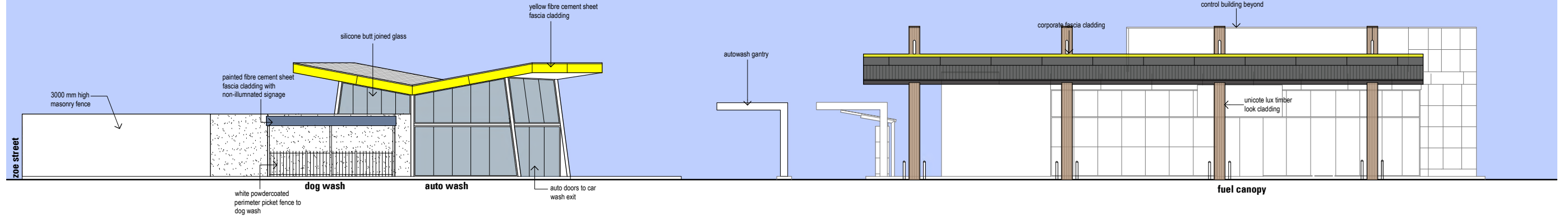
silicone butt joined glass
shopfront

back illuminated
signage panel

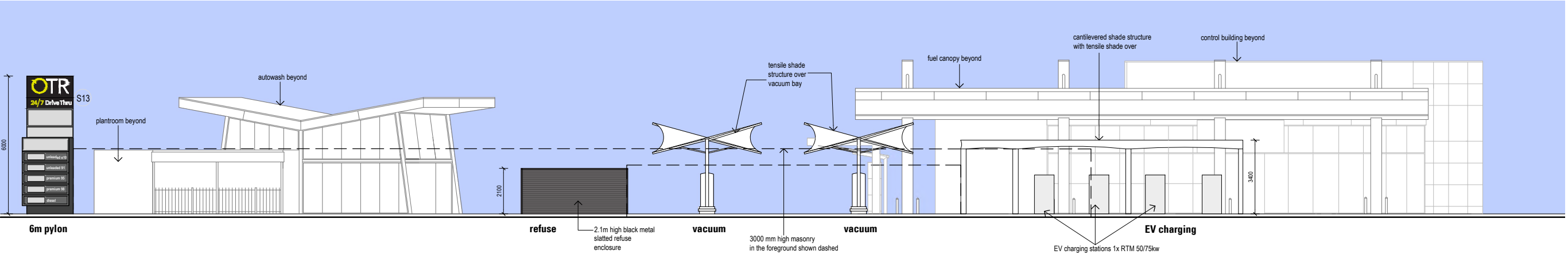
OTR
24/7 Drive Thru

SOUTH ELEVATION 1:100 AT A1

Pylon sign to be a maximum
height of 6.5m above natural
ground level



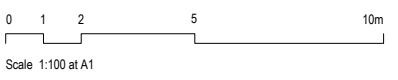
SOUTH ELEVATION 1:100 AT A1

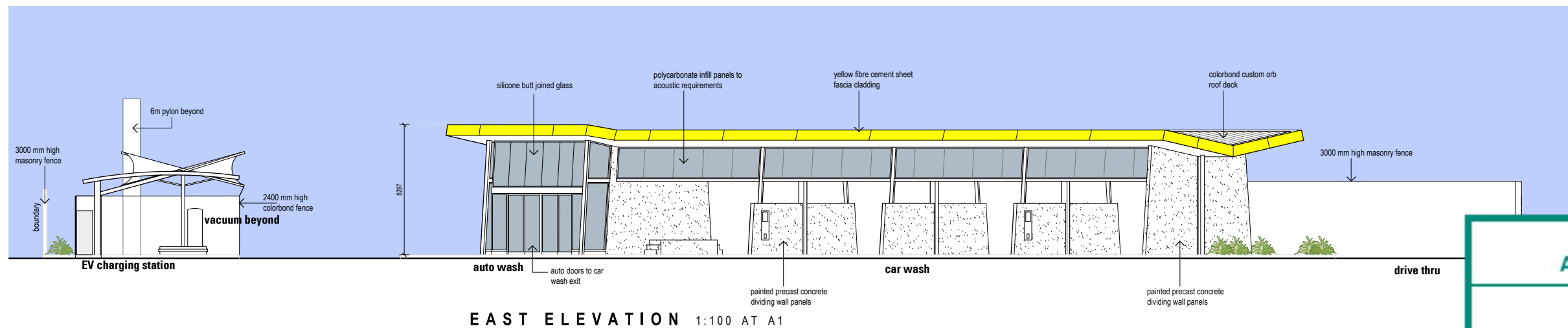
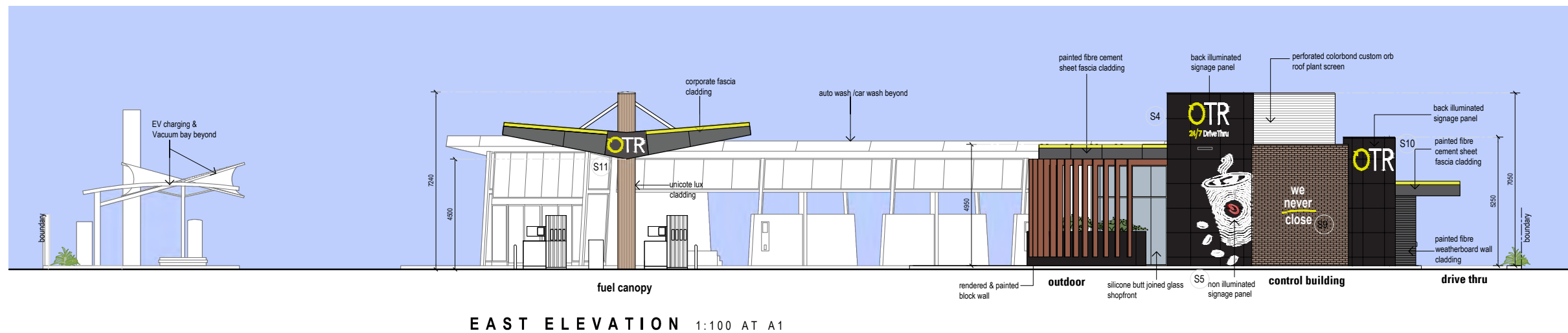


SOUTH ELEVATION 1:100 AT A1

NEW SERVICE STATION COMPLEX

92 BLAIR STREET, BUNBURY WA

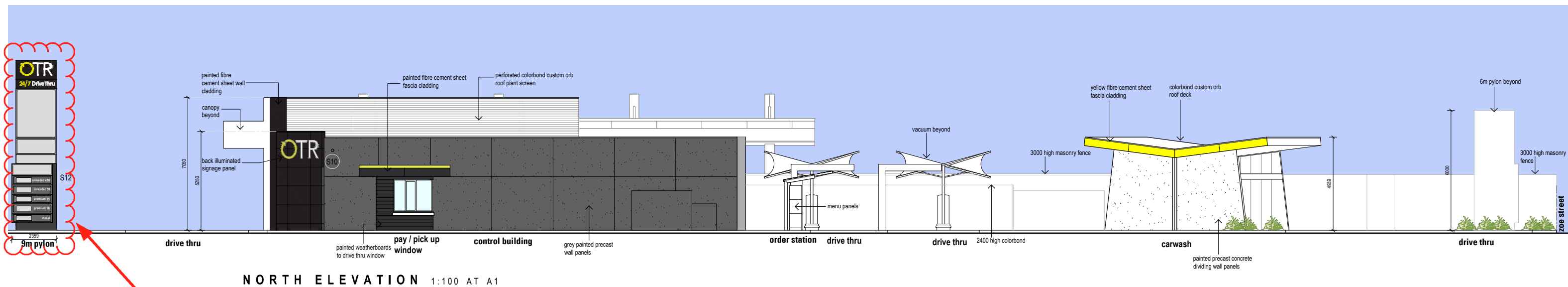




**DEVELOPMENT
ASSESSMENT PANEL**

APPROVED

23-Mar-2023

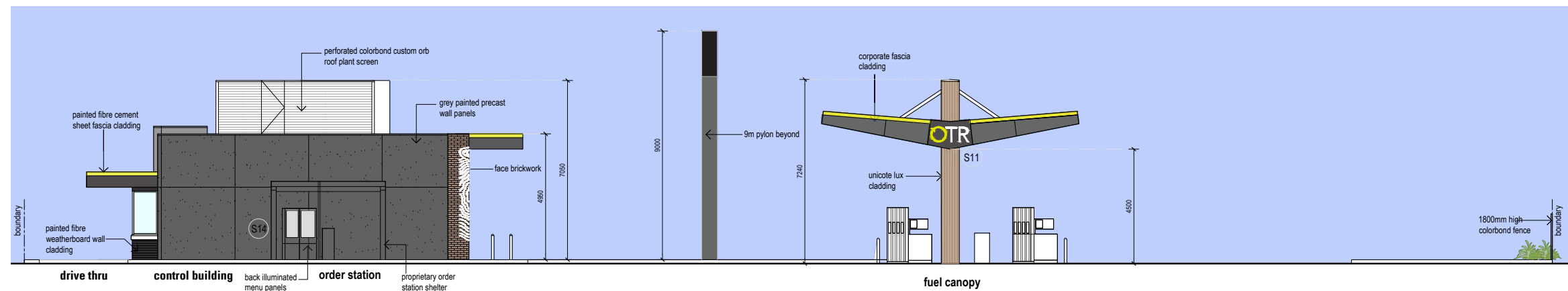


Pylon sign to be a maximum height of 6.5m above natural ground level

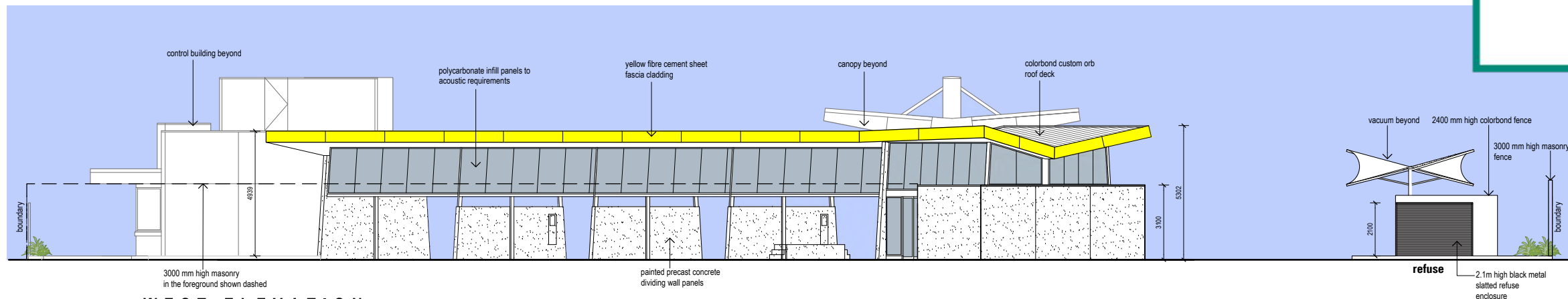
NEW SERVICE STATION COMPLEX

92 BLAIR STREET, BUNBURY WA

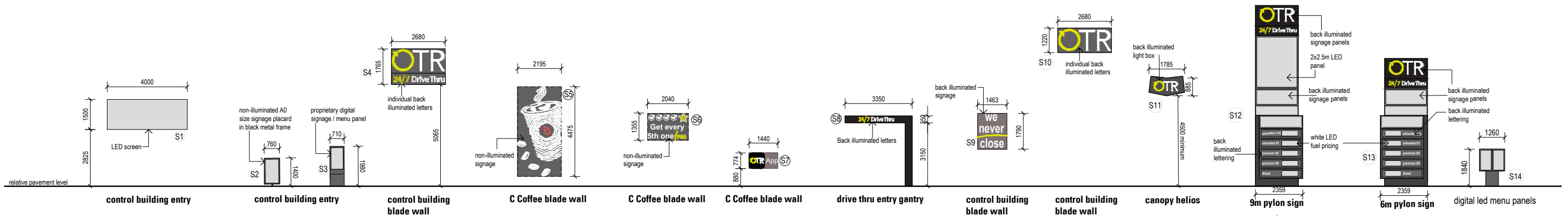




WEST ELEVATION 1:100 AT A1



WEST ELEVATION 1:100 AT A1



SIGNAGE ELEVATIONS 1:100 AT A1

Pylon sign to be a maximum height of 6.5m above natural ground level

NEW SERVICE STATION COMPLEX

92 BLAIR STREET, BUNBURY WA

0 1 2 5 10m
Scale 1:100 at A1

DEVELOPMENT
ASSESSMENT PANEL

APPROVED

23-Mar-2023

This drawing must be read in conjunction with all other contract documents including the project specifications, schedules and any instructions issued during the course of the contract. The Contractor must verify all dimensions on site and check the location of services before commencement of work. The Contractor is to notify the Superintendent of any discrepancies between the drawings or specifications. Drawings are not to be used for construction unless identified in the title block as 'For construction'. All drawings to be read at A1 unless otherwise stated. Drawings are intended for digital setout and DWG files will be issued upon request. Copyright Oxygen Pty Ltd

SCALE
1:200 (A1), 1:400 (A3)

LEGEND

- NEW
- PROPERTY BOUNDARY
 - NEW TREE
REFER TO DETAIL 01
 - PLANTING
REFER TO DETAIL 02
 - IRRIGATED TURF
REFER TO DETAIL 03
 - CONCRETE EDGE
REFER TO DETAIL 04

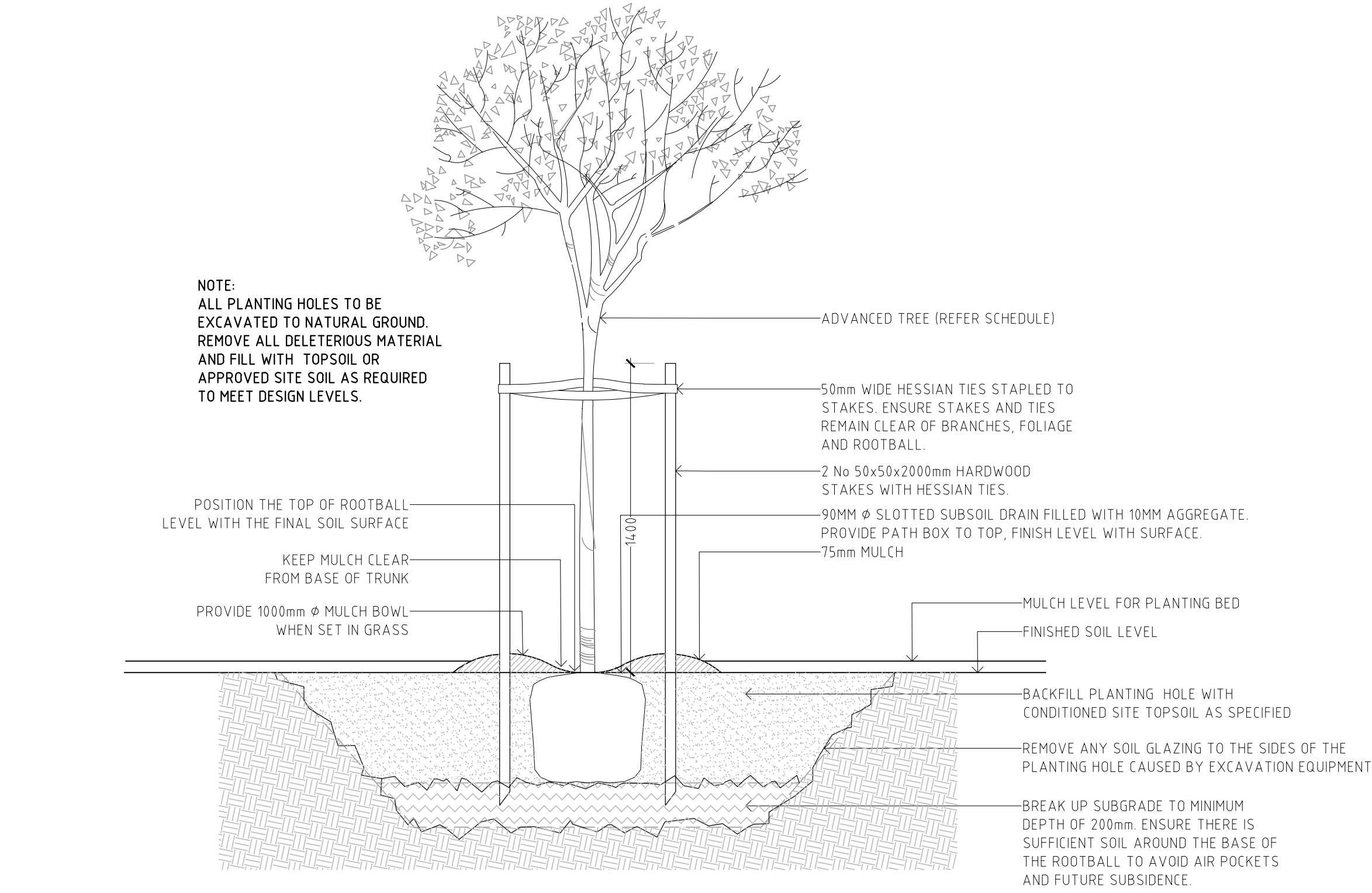
NOTES

EXISTING SERVICES
THE CONTRACTOR MUST LOCATE AND MARK ALL UNDERGROUND SERVICES BEFORE COMMENCING WORK ON SITE.

TREE PLANTING
PREPARE TREE HOLES TO A MINIMUM SIZE OF THE DEPTH OF THE ROOTBALL x 1m WIDE AND BREAK THE SUBGRADE TO A MINIMUM DEPTH OF 200MM BELOW. TAKE PARTICULAR CARE TO BREAK UP ANY GLAZING TO SIDES OF TREE HOLE. FINISH THE ROOTBALL LEVEL WITH THE FINAL SURROUNDING SOIL LEVEL AND BACKFILL THE PLANTING HOLE WITH SITE TOPSOIL BLENDED WITH 20% ORGANIC MIX. PROVIDE A 1m DIAMETER MULCHED WATERING BOWL TO THE BASE OF THE TREE. STAKE TREES WITH 2No. 2500x50x50 HARDWOOD STAKES AND TIE WITH 50mm HESSIAN TIES SECURELY STAPLED TO THE STAKES. ENSURE STAKES AND TIES REMAIN CLEAR OF BRANCHES, FOLIAGE AND ROOTBALL.

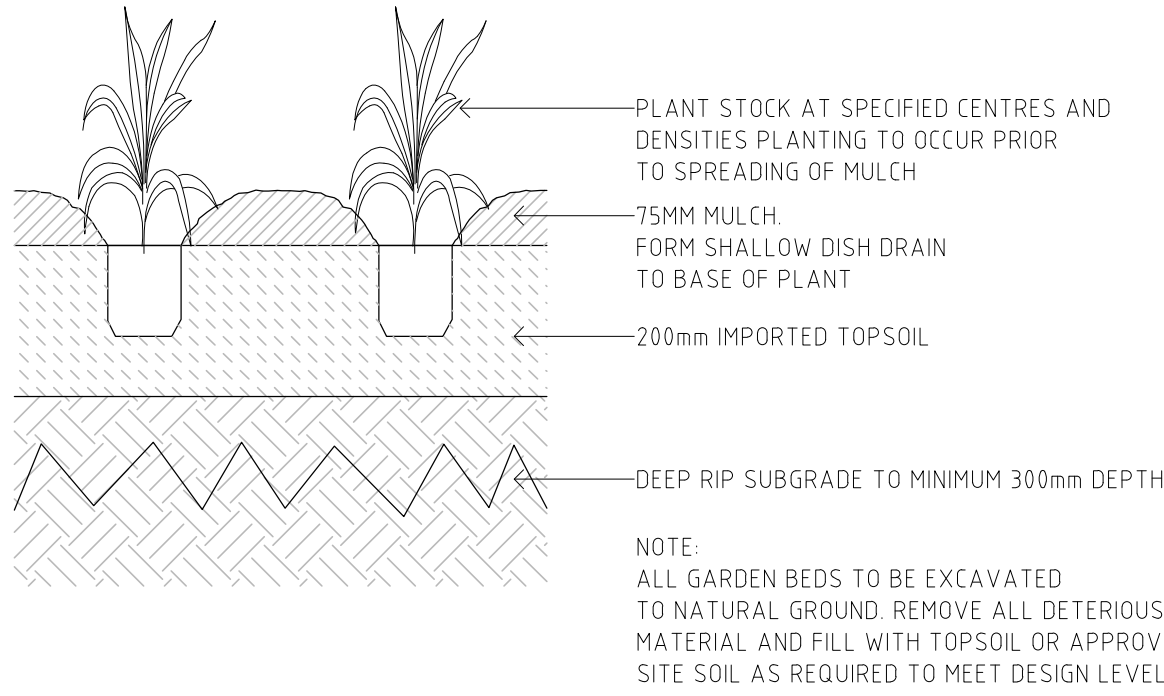
PLANTING BEDS
CULTIVATE EXISTING GROUND TO A MINIMUM DEPTH OF 300 MM AND PLACE 300MM IMPORTED 'ORGANIC MIX'. PLACE PLANTS IN THE CENTER OF THE PLANTING HOLE AND FINISH THE TOP OF THE ROOT BALL LEVEL WITH THE FINISHED SURFACE OF THE SURROUNDING SOIL. APPLY TERRACOTTE FERTILISER TO MANUFACTURERS RATES AT TIME OF PLANTING AND AFTER PLANTING PLACE A 100MM MINIMUM DEPTH OF COT TAGE MULCH. THOROUGHLY WATER PLANTS BEFORE AND IMMEDIATELY AFTER PLANTING, AND AS REQUIRED TO MAINTAIN HEALTH AND VIGOUR. AVERAGE 2 PLANTS/M²

IRRIGATION
PROVIDE AN AUTOMATIC IN-LINE DRIP IRRIGATION SYSTEM TO ALL PLANTING BEDS AND TREES.
DRIP IRRIGATION SPECIFIED AS NETAFIM TECHLINE 16 POLY TUBE 16lph @ 0.5M SPACINGS OR SIMILAR APPROVED. FOR ALL TREE PLANTING INSTALL AT BASE OF TREE 4No 4lph PC DRIP EMITTERS ON 13MM POLY LOOP (OR INLINE EQUIVALENT). ALL POLY TUBING TO BE LAID ON SURFACE AND COVERED WITH MULCH.
PROVIDE BACKFLOW PREVENTION, AUTOMATIC CONTROLLER AND OTHER DEVICES AS REQUIRED.



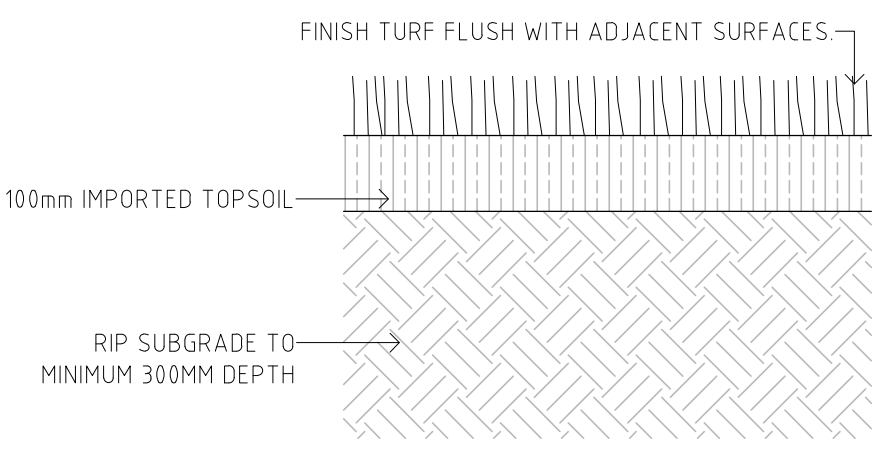
01 TYPICAL TREE IN MULCH DETAIL

SCALE 1:20 @ A1



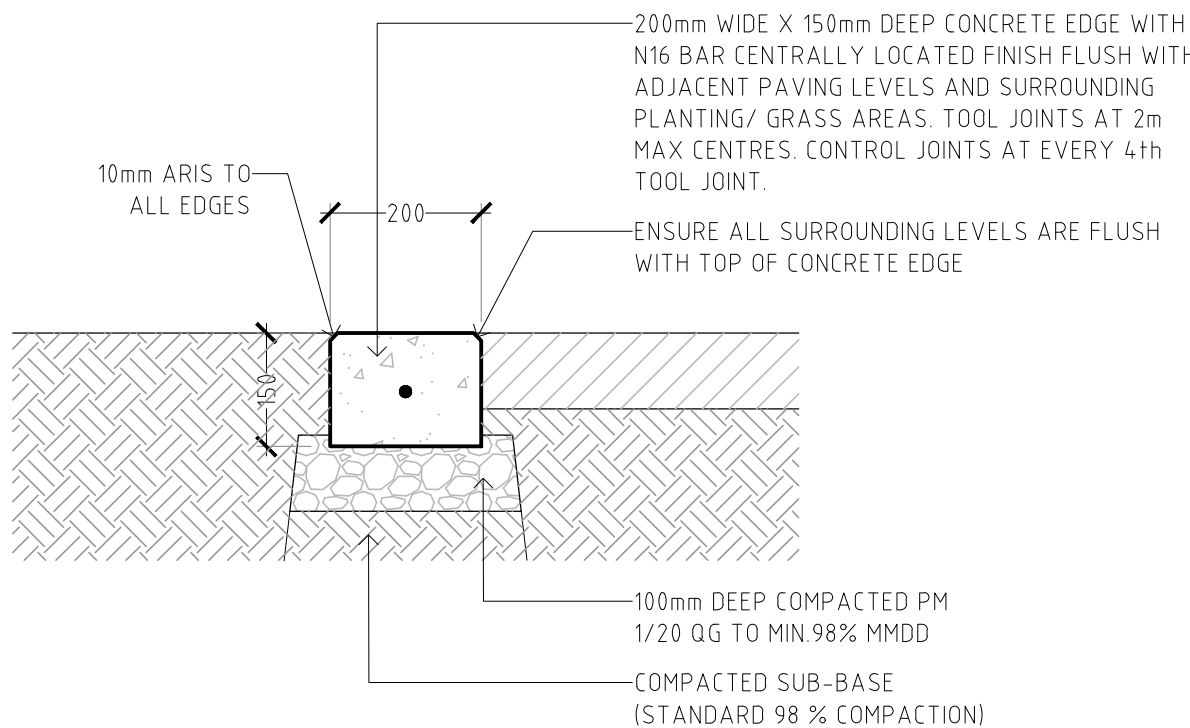
02 TYPICAL SHRUB PLANTING DETAIL

SCALE 1:10 @ A1



03 TYPICAL TURF DETAIL

SCALE 1:10 @ A1



04 CE - CONCRETE EDGE DETAIL - 200MM

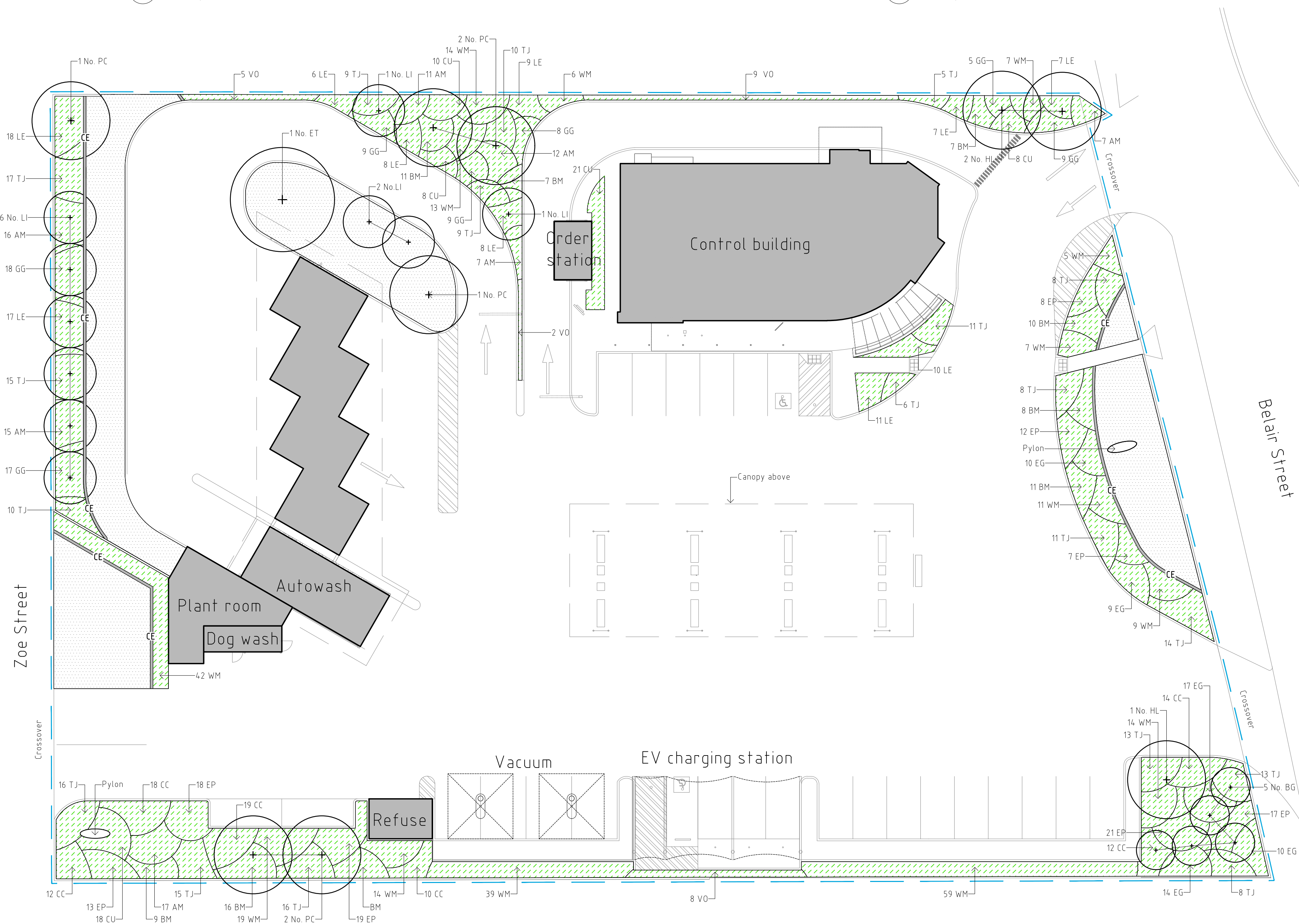
SCALE 1:10 @ A1

TREE SCHEDULE

CODE	BOTANIC NAME	SPACING	SIZE	QTY
BG	Banksia grandis	AS SHOWN	45L	5
ET	Eucalyptus torquata	AS SHOWN	45L	1
HL	Hakea laurina	AS SHOWN	45L	3
LI	Lagerstroemia indica 'Acoma'	AS SHOWN	45L	10
PC	Pistacia chinensis	AS SHOWN	45L	6

PLANT SCHEDULE

CODE	BOTANIC NAME	SPACING	SIZE	QTY
AM	Anigozanthos manglii	1.5/m ²	14.0mm	85
BM	Boronia megastigma	1.5/m ²	14.0mm	79
CC	Callistemon citrinus	1.5/m ²	14.0mm	85
CU	Chamelaucium uncinatum	1.5/m ²	14.0mm	65
EG	Eremophila glabra 'Belalia Gold'	1.5/m ²	14.0mm	60
EP	Eutaxia parvifolia	1.5/m ²	14.0mm	115
GG	Grevillea obtusifolia 'Gin Gin Gem'	1.5/m ²	14.0mm	75
LE	Lechenaultia biloba 'Electric Blue'	1.5/m ²	14.0mm	101
TJ	Trachelospermum jasminoides 'Flat Mat'	1.5/m ²	14.0mm	214
VO	Viburnum odoratissimum	1.0/m ²	14.0mm	24
WM	Westringia fruticosa 'Mundi'	1.5/m ²	14.0mm	259



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CLIENT
PEREGRINE CORPORATION

ARCHITECTS
ADS ARCHITECTS



PROJECT
BUNBURY OTR

drawing title
LANDSCAPE PLAN

15.047.114

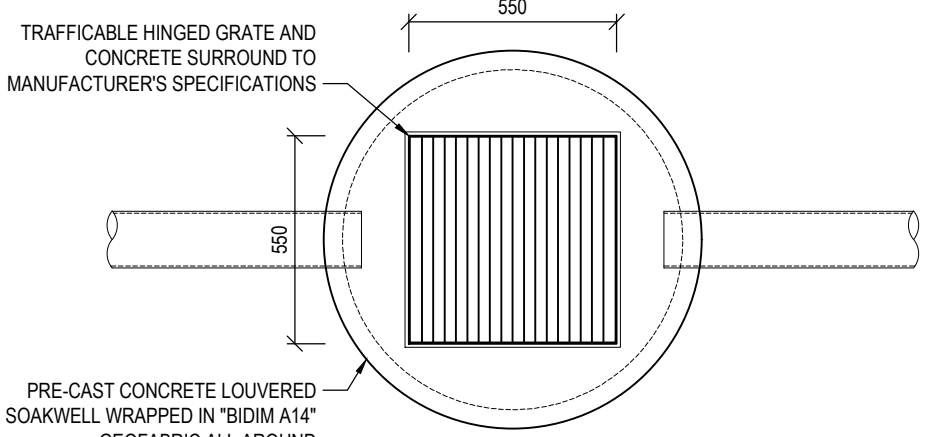
ISSUE
DRAFT

A

ISSUE DATE ISSUE DWN CHK APP
A 21.09.22 DRAFT EH TW

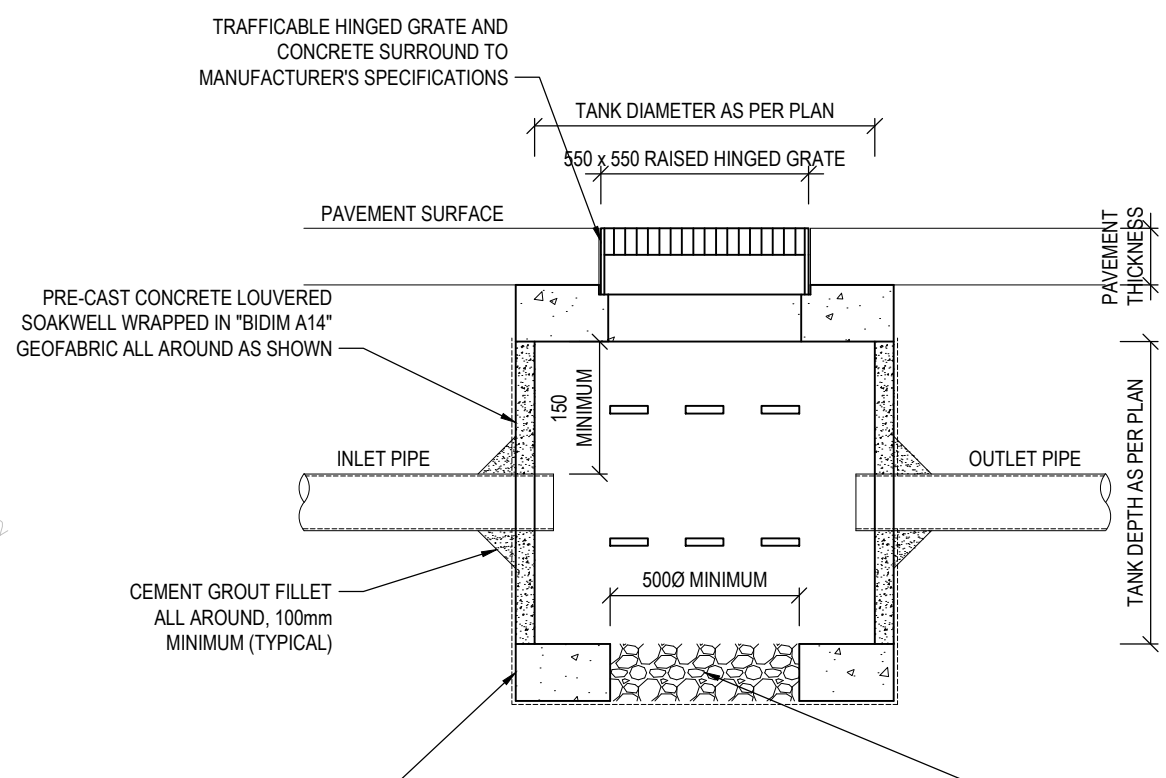


- GENERAL NOTES:
- DATUM IS LOCAL AND TO BE VERIFIED ON SITE.
 - CHECK ALL DIMENSIONS ON SITE. READ ALL ENGINEERING DRAWINGS IN CONJUNCTION WITH ARCHITECTURAL & SURVEY DRAWINGS. ANY DISCREPANCIES BETWEEN ENGINEERING DRAWINGS AND ARCHITECTURAL DRAWINGS SHALL BE CONFIRMED PRIOR TO COMMENCING CONSTRUCTION. DO NOT SCALE FROM THESE DRAWINGS.
 - ALL WORK TO BE IN ACCORDANCE WITH "AS3500-2003 PLUMBING & DRAINAGE". THE "BUILDING CODE OF AUSTRALIA" AND THE LOCAL AUTHORITY'S STANDARD SPECIFICATIONS.
 - LOT CONNECTION PIT (WHEN APPLICABLE) TO LOCAL AUTHORITY SPECIFICATIONS.
 - WHERE MANHOLES ARE LOCATED IN THE AREAS SUBJECT TO VEHICULAR LOADING, STANDARD TRAFFICABLE LIDS ARE TO BE INSTALLED & BASED TO BUILDER'S DETAIL.
 - ALL DRAINAGE PIPEWORK SHALL BE PVC CLASS HD STORMWATER, UNLESS WHERE LOCATED UNDERNEATH ANY STRUCTURES PIPEWORK SHALL BE PVC SEWER CLASS S8.
 - ALIGNMENT OF PIPES SHALL BE AS SHOWN ON THE PLAN & SHALL BE TO THE PIPE OR MANHOLE CENTRELINE.
 - BEFORE CONSTRUCTION COMMENCES, THE CONTRACTOR SHALL:
 - CHECK ON SITE THE LOCATION OF THE EXISTING SERVICES WITH THE APPROPRIATE AUTHORITY. ENSURE PROPOSED STORMWATER PIPE DOES NOT CLASH WITH ANY EXISTING SERVICES.
 - ARRANGE FOR THE LOCATION AND THE LEVEL OF THE CONNECTION POINT TO EXISTING STORMWATER MANHOLE TO BE VERIFIED BY A SURVEYOR.
 - CONFIRM THAT BOUNDARY PEGS OR OTHER SURVEY REFERENCE POINTS TO BE USED IN SETTING OUT OF THE PROJECT ARE LOCATED IN THE CORRECT POSITIONS.
 - ENSURE A PERMIT & REINSTATEMENT SPECIFICATIONS ARE OBTAINED FROM THE LOCAL AUTHORITY IF EXCAVATION WILL BE IN A ROAD RESERVE OR RIGHT OF WAY.
 - ENSURE ALL DETAILS HAVE BEEN CHECKED AND THAT NO DISCREPANCIES EXIST. ALL QUERIES AND DISCREPANCIES ARE TO BE RESOLVED PRIOR TO COMMENCING WORKS.
 - ALL EXCAVATIONS SHALL BE SECURED & MADE SAFE IN ACCORDANCE WITH REQUIREMENTS OF THE OCCUPATIONAL SAFETY & HEALTH ACT OF 1984, THE OCCUPATIONAL SAFETY & HEALTH REGULATION 1996 & OF ANY RELEVANT REGULATORY BODY.
 - PROPERTIES WHICH HAVE BEEN EXCAVATED SHALL BE RETURNED TO AT LEAST A SIMILAR CONDITION TO THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
 - TRENCH BACKFILL SHALL BE CLEAN GRANULAR MATERIAL, COMPACTED TO A LEVEL NOT LESS THAN THAT OF THE SURROUNDING UNDISTURBED GROUND, FOR THE FULL DEPTH OF EXCAVATION. BACKFILL UNDER ROADS SHALL BE COMPACTED TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.
 - ALL CONNECTION INTO EXISTING LOCAL AUTHORITY STORMWATER ARE TO BE CARRIED OUT BY THE CONTRACTOR TO LOCAL AUTHORITY SPECIFICATIONS. THIS STORM WATER DESIGN IS TO BE READ IN CONJUNCTION WITH THE BUILDER'S ARCHITECTURAL DRAWINGS (PARTIALLY REPRODUCED HERE).
 - CLIENT IS TO ENSURE LOCAL AUTHORITY HAVE APPROVED THESE DRAWINGS BEFORE BEING ISSUED FOR PRICING, TENDER & CONSTRUCTION.



TYPICAL SOAKWELL TANK PLAN

SCALE 1:20



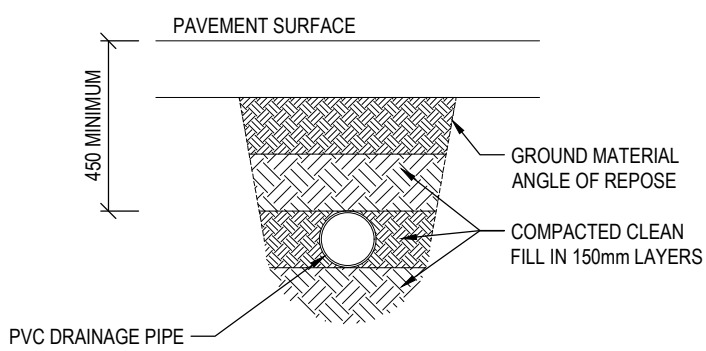
TYPICAL SOAKWELL TANK DETAILS

SCALE 1:20

- LEGEND:
- SW 1500 uPVC CLASS S8 PIPE
 - SW 1500 uPVC CLASS S8 PIPE FROM BUILDING DOWNPIPE UNO
 - IP DN160 UPP FUEL PIPE OR EQUIVALENT
 - TS TRAFFICABLE STORMWATER TANK WITH GRATE COVER
 - TS TRAFFICABLE STORMWATER TANK WITH CONCRETE COVER
 - TS TRAFFICABLE PRECAST SUMP PIT WITH GRATE COVER
 - FD FALL DIRECTION
 - IL+10.00 PIPE INVERT LEVEL
 - TT+10.00 TOP OF TANK LEVEL
 - RL+10.00 PAVEMENT LEVEL
 - HP+10.00 PAVEMENT HIGH POINT
 - LP+10.00 PAVEMENT LOW POINT

DRAINAGE CALCULATIONS:
(TO CITY OF BUNBURY REQUIREMENTS)

QUANTITY	SOAKWELL SIZE	AREA SERVED PER SOAKWELL (sqm)	TOTAL AREA SERVED (sqm)
20	18000 x 1200DEEP	200	4000
8	12000 x 600DEEP	25	200
		TOTAL	4200



TYPICAL PVC DRAINAGE PIPE BEDDING DETAILS

SCALE 1:20

NOTE TO BUILDER:
EXISTING ROAD EDGE ELEVATIONS AT PROPOSED CROSSOVER AREAS TO BE VERIFIED ON SITE

STORMWATER DRAINAGE PLAN

SCALE 1:200
METHOD OF DISPOSAL: ON-SITE THROUGH GROUND INFILTRATION

DEVELOPMENT
ASSESSMENT PANEL

APPROVED

23-Mar-2023

A	ISSUE FOR DEVELOPMENT APPROVAL	JC	10-SEP-2021
REV	DESCRIPTION	BY	DATE
PROJECT:			
NEW SERVICE STATION COMPLEX			
92 BLAIR STREET, BUNBURY, WESTERN AUSTRALIA			
TITLE:			
STORMWATER DRAINAGE PLAN AND DETAILS			
DRAWING:	SCALE:	PROJECT #:	REVISION:
J. GABRIEL	AS NOTED	20892	A
J. CUBONG	PAPER SIZE:	DRAWING #:	
	A1	C1	

JCCE
JC Consulting Engineers

NOTE: ALL UNITS ARE IN MILLIMETERS UNO

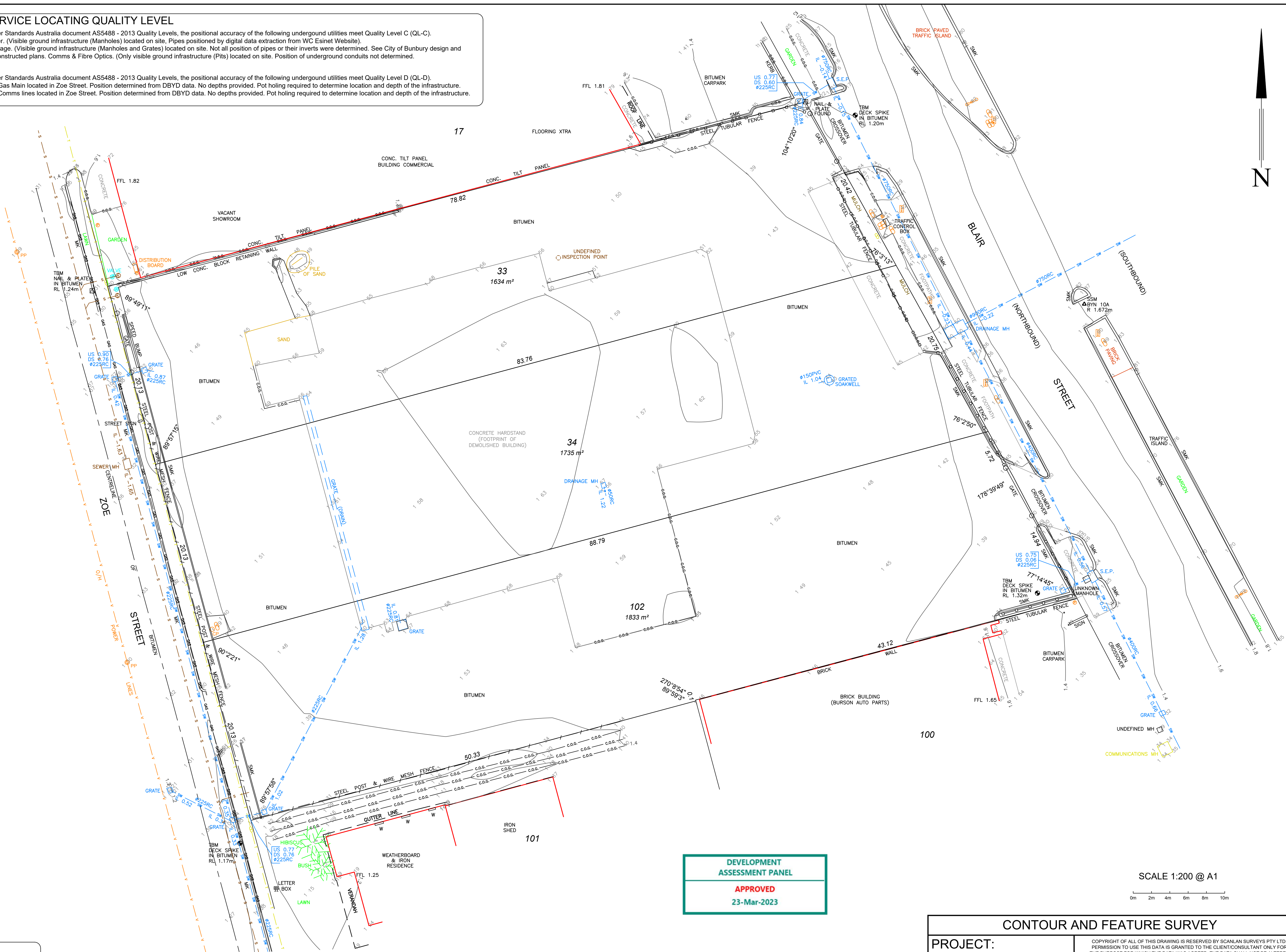
SERVICE RECORD			
STATUS	LOCATED	AVAILABLE	NO SERVICE
SERVICE	LOCATED	AVAILABLE	NO SERVICE
WATER	✓	✓	✓
SEWERAGE	✓	✓	✓
GAS	✓	✓	✓
TELSTRA	✓	✓	✓
POWER	✓	✓	✓
OH	✓	✓	✓
NOTE: SERVICES MARKED CONFIRM REQUIRE BUILDER/CIENT TO CONFIRM POSITION ON SITE.			

LEGEND	
POWER	
LIGHT POLE	○ _{PP}
CONSUMER POLE	○ _{CP}
POWER DOME	○ _{DP}
ELECTRIC EARTHING PIT	□ _{EP}
STREET LIGHTING	□ _{SL}
TRAFFIC LIGHT	□ _{TL}
CABLE PIT	□ _{CP}
SEWERAGE	
SEWER CONNECTION	○ _{SC}
SEWER LINE	— _S —
ROAD	
MOUNTABLE KERB	MK
SEMI-MOUNTABLE KERB	SMK
WATER	
WATER METER	○ _{WM}
WATER MAIN	— _W —
GAS	
GAS MAIN	— _{GAS} —
COMMUNICATIONS	
COMMS PIT	□ _{CP}
COMMS LINE	— _C —
FEATURES	
BOLLARD	○ _B
CHANGE OF GRADE	— _{C.O.G.} —

SERVICE LOCATING QUALITY LEVEL

As per Standards Australia document AS5488 - 2013 Quality Levels, the positional accuracy of the following underground utilities meet Quality Level C (QL-C).
Sewer. (Visible ground infrastructure (Manholes) located on site. Pipes positioned by digital data extraction from VC Esinet Website).
Drainage. (Visible ground infrastructure (Manholes and Grates) located on site. Not all position of pipes or their inverts were determined. See City of Bunbury design and As-constructed plans. Comms & Fibre Optics. (Only visible ground infrastructure (Pits) located on site. Position of underground conduits not determined).

As per Standards Australia document AS5488 - 2013 Quality Levels, the positional accuracy of the following underground utilities meet Quality Level D (QL-D).
U/G Gas Main located in Zoe Street. Position determined from DBYD data. No depths provided. Pot holing required to determine location and depth of the infrastructure.
U/G Comms lines located in Zoe Street. Position determined from DBYD data. No depths provided. Pot holing required to determine location and depth of the infrastructure.



WARNING
Level between TBM's before adopting their elevation.

NOTE
This PLAN is current at the Date of Survey (29/3/2022).
The cadastral boundary position has been determined from cadastral survey marks. A full repeg is recommended prior to any construction work. Check Landgate's Plan & Certificate of Title for any Encumbrances including Depth Limits, Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection.

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DRAWN BY:	LF	31/03/2022							
CHECKED BY:	RS	04/04/2022							
APPROVED BY:	JS	05/04/2022							
DRAWING FILE:	8642221.DWG								
REVISION									
DESCRIPTION									
ISSUED TO CLIENT									
BY	JS	05/04/2022							
DATE									

DEVELOPMENT
ASSESSMENT PANEL
APPROVED
23-Mar-2023

CONTOUR AND FEATURE SURVEY			
PROJECT: LOTS 33 & 34 ON P 763 & LOT 102 ON DP 61413 92 BLAIR STREET, BUNBURY		COPYRIGHT OF ALL OF THIS DRAWING IS RESERVED BY SCANLAN SURVEYS PTY LTD. PERMISSION TO USE THIS DATA IS GRANTED TO THE CLIENT/CONSULTANT ONLY FOR THE PURPOSE FOR WHICH THE DATA WAS AGREED. THE DATA SHALL NOT BE ALTERED IN ANY WAY WITHOUT THE WRITTEN APPROVAL OF SCANLAN SURVEYS PTY LTD. THE DRAWING IS THE PROPERTY OF SCANLAN SURVEYS PTY LTD AND ALL DIGITAL AND PAPER COPIES SHALL BE RETURNED UPON REQUEST.	
CLIENT: PEREGRINE CORPORATION		HORIZONTAL DATUM: LOCAL PLANE	
PLAN: 763 DEPOSITED PLAN: 61413		VERTICAL DATUM: AHD (SSM BYN 10A - RL 1.672m)	
C/T: 2734/125 C/T: 2734/129		DRAWING: 8642/22/1	REVISION: