



LG Ref: 5/2022/274/1
DAP Ref: DAP/22/02403

Enquiries: (08) 6551 9919

State Administrative Tribunal
565 Hay Street
PERTH WA 6000

Dear Sir/Madam,

STATE ADMINISTRATIVE TRIBUNAL REVIEW OUTCOME – DR51/2023

Property Location:	No.6 (Lot 10) Mossop Street and No.83 (Lot 40) Mangles Street, South Bunbury
Application Details:	Proposed Child Care Premises

Please be advised that the Regional Joint Development Assessment Panel reconsidered the above-mentioned development application, SAT ref DR51/2023, pursuant to section 31 of the *State Administrative Tribunal Act 2004* on 17 July 2023.

The Notice of Determination is attached.

Yours sincerely,

DAP Secretariat

25 July 2023

Encl: Amended DAP Determination Notice

Cc: SPG Capital Fund 11 Pty Ltd

State Solicitor's Office

Ms Matilda Hodge
City of Bunbury

Planning Appeals



Planning and Development Act 2005

City of Bunbury Local Planning Scheme No.8

Regional Joint Development Assessment Panel

Determination on Development Assessment Panel Application for Planning Approval

Property Location: No.6 (Lot 10) Mossop Street and No.83 (Lot 40) Mangles Street, South Bunbury

Application Details: Proposed Child Care Premises

Pursuant to section 31 of the *State Administrative Tribunal Act 2004*, the Regional JDAP, at its meeting on 17 July 2023, has reconsidered its decision dated 23 March 2023 in respect to the above application, SAT Ref. DR51/2023 and has resolved to:

Reconsider its decision dated 23 March 2023 and **SET ASIDE the decision** and approve proposed Child Care Premises DAP Application reference RJDAP/22/2403 and amended plans in accordance with Clause 68 of Schedule 2 (Deemed Provisions) of the *Planning and Development (Local Planning Schemes) Regulations 2015* and the provisions of the City of Bunbury Local Planning Scheme No. 8, subject to the following conditions:

Amended Conditions

1. This decision constitutes planning approval only and is valid for a period of four (4) years from the date of approval. If the subject development is not substantially commenced within the specified period, the approval shall lapse and be of no further effect.
2. All development shall be in accordance with the approved development plans (attached) which form part of this development approval.
3. At all times, the development the subject of this approval must comply with the land use definition of 'Child Care Premises' as contained in Part 6, Division 2 of the City of Bunbury Local Planning Scheme No. 8.
4. All works required to satisfy a condition of this approval are required to be installed / constructed and maintained in accordance with the approved plans and conditions of approval for the life of the development.
5. At all times, the proposal shall only operate Monday – Friday 7am – 6pm (excluding public holidays), with staff onsite only from 6.30am – 6.30pm.
6. The building shall incorporate solar panels to the satisfaction of the City of Bunbury.
7. Prior to the commencements of works, the applicant is to demonstrate compliance with CPTED principles to the satisfaction of the City of Bunbury. Including, but not limited to security gates to the carpark, lighting, and security cameras to deter crime after hours.



8. All servicing and deliveries, including waste collection, for the site are to take place during the operational hours and not during peak morning drop off or peak afternoon pick-up periods of the Child Care Premises to the satisfaction of the City of Bunbury.
9. Prior to the commencement of works, revised plans demonstrating the provision of fencing between the two outdoor play areas is to be provided to the satisfaction of the City of Bunbury.

Landscaping and Fencing

10. Before the development commences, a landscaping plan must be submitted for the approval of the City of Bunbury. The landscape plan must address the following:
 - a) A site plan of proposed landscaping, including not less than five (5) advanced tree to be planted. Advanced trees are to be planted within the carparking area in 90L or larger container and must be a minimum 2m height and 2 years age at the time of planting.
 - b) Landscaping treatments inclusive of vegetation within the verge area.
 - c) The retention of the two existing trees onsite.
 - d) A site plan of existing and proposed development with natural and finished ground levels.
 - e) The location, species and size of existing vegetation and vegetation to be removed.
 - f) Exact species, location and number of proposed to be planted.
 - g) A key or legend detailing proposed species type grouped under the subheadings of tree, shrub and ground cover.
 - h) Mulching or similar treatments of garden beds including edges.
 - i) Details of reticulation of landscaped areas including the source of the water supply and proposed responsibility for maintenance.
 - j) Treatment of paved areas (parking and pedestrian areas).
 - k) Screening of car parking areas.
 - l) Fence material, height and treatment.
11. Before the development is occupied, the landscaped areas must be planted, established and reticulated in accordance with the endorsed landscape plans. These areas must be maintained as landscaped areas at all times and to the satisfaction of the City of Bunbury.

Amalgamation

12. Before the development commences, the subject land parcels must be amalgamated/consolidated into the one certificate of title and the new title issued, and a copy of the new title provided, to the satisfaction of the City of Bunbury.

Or, alternatively the land owner must enter into a legal agreement with the City of Bunbury to secure the amalgamation/consolidation of the subject land parcels into one certificate of title within a specified time frame. The legal agreement must be at the full cost of the landowner, to the specification of the City's solicitor and to the satisfaction of the City of Bunbury.



Acoustic

13. The proposal is to operate in accordance with the following at all times:
 - a) No more than 40 children are to utilise the main eastern/northern outdoor play area at any one time.
 - b) The western outdoor play area shall be utilised by 0–3-year-olds only, and shall be limited to 10, 2-3 year olds at any one time.
 - c) No children shall utilise any outdoor play areas prior to 7.00am.
 - d) The childcare centre will cater for children up to 5 years of age only.
14. Prior to the submission of a Building Permit Application, a qualified acoustic engineer shall:
 - a) Review the construction drawings and certify to the satisfaction of the City of Bunbury that the documents/plans incorporate all the recommended design and construction noise attenuation elements, specified in the endorsed acoustic report
 - b) Review/assess the proposed air conditioning and ventilations systems selection and design as outlined in the acoustic report .
 - i. This review/assessment shall include any noise attenuation measures required for the air conditioning and ventilation systems to comply with the Environmental Protection (Noise) Regulations 1997.
 - ii. Written certification shall be provided by the endorsed acoustic engineer to the City of Bunbury's Manager Community Wellbeing confirming that the assessment has been completed and the final selection and design of the air conditioning and ventilation, including any noise attenuation measures, is able to achieve compliance with the Environmental Protection (Noise) Regulations 1997.
15. After construction, prior to occupancy of the development, a qualified acoustic engineer shall:
 - a) Provide written certification to the satisfaction of the City of Bunbury's Manager Community Wellbeing that all noise attenuation measures required as part of the outdoor play area, and air conditioning design assessments have been implemented onsite.
 - b) All ongoing operational requirements are to be carried out in accordance with the endorsed acoustic report and any further measures identified in the subsequent acoustic assessments.



16. After construction and prior to occupancy of the development, the business operator shall:
- a) Provide, to the satisfaction of the City of Bunbury Manager Community Wellbeing, Operational Management Plan which details the administrative and operational controls to be implemented to manage noise emissions to comply with the Environmental Protection (Noise) Regulations 1997.
 - b) The Operational Management Plan is to include, but not limited to:
 - i. operating hours,
 - ii. the rules and use of the outdoor play area, and
 - iii. vehicle movement restrictions within the car parking area, as outlined in the endorsed acoustic report.
 - iv. designated staff parking bays for staff arriving between 6.30am – 7.00am
 - v. Management of complaints
 - vi. Parents be advised not to queue in Mangles Street

Access and Parking

17. Before the development commences, a damage bond to the value of \$3000 must be paid to the City of Bunbury in accordance with the City of Bunbury's Local Planning Policy "Bonds".
18. Before the development is occupied, the access ways, car parking and turning areas shall be constructed in accordance with the development approval to the satisfaction of the City of Bunbury.
19. Before the development is occupied, wheel stops shall be implemented within the parking area to the satisfaction of the City of Bunbury.
20. Before the development is occupied, all disused or redundant vehicular crossovers must be removed, and the area reinstated to the satisfaction of the City of Bunbury.
21. Before the development is occupied, any alterations, relocation, or damage of existing infrastructure within the road reserve must be completed and reinstated to the specification and satisfaction of the City of Bunbury.
22. All construction activities must be undertaken so as to avoid dust nuisance to occupiers of land in the vicinity to the satisfaction of the City of Bunbury.

Management Plans

23. At all times, the site shall operate in accordance with the approved Operational Management Plan.
24. Before the development commences, a Construction and Site Management Plan detailing access to the site, hours of construction, the delivery and storage of materials and the parking of tradespersons is to be approved by the City of Bunbury prior to the issue of a Building Permit and implemented for the duration of construction.



25. Before the development commences, a revised Waste Management Plan shall be provided and approved by the City of Bunbury.
26. Before the development commences, a Stormwater and Drainage Management Plan, prepared in accordance with the Department for Water's Stormwater Management Manual must be submitted for the approval of the City of Bunbury.

The Stormwater and Drainage Management Plan will determine the drainage infrastructure required to support the development and as a minimum it must address:

- a. proposed development;
 - b. storm events to be managed;
 - c. onsite-retention for 1:1 year events;
 - d. onsite-detention for 1:5 year events;
 - e. overland flow path for larger events;
 - f. effect of groundwater;
 - g. use of water sensitive urban design principles;
 - h. water quality;
 - i. protection of adjacent / nearby waterways and wetlands; and
 - j. conclusions / recommendations.
27. Before the development is occupied, the recommendations of the approved Stormwater and Drainage Management Plan must be constructed and implemented to the satisfaction of the City of Bunbury.
 28. Prior to occupation a Lighting Management Plan is provided to the satisfaction of the City that ensures that there is no overspill of lighting into neighbouring properties

Advice Notes

- a) This is a development approval only. The applicant/owner is advised that it is their responsibility to ensure that the proposed development complies with all other applicable legislation, local laws and/or license requirements that may relate to the development.
- b) Where an approval has so lapsed, no development must be carried out without the further approval of the local government having first been sought and obtained.
- c) The development is subject to the Building Act 2011, Building Regulations 2012 and Building Code of Australia. A separate building permit must be granted before the development commences, where offences occur statutory penalties apply. The applicant/owner is advised to liaise further with the City of Bunbury's Building Services on (08) 9792 7000



- d) The premises and equipment the subject of this development approval is required to comply with clause 3.2.3 of the Australian Food Safety Standards. Regardless of whether a building permit is required, application shall be made to the City of Bunbury's Environmental Health Services for assessment and approval prior to commencing development. Please refer to the City of Bunbury's Requirements for the Establishment, Construction and Fit Out of Food Premises available on the website at www.bunbury.wa.gov.au.

A final inspection of the premises will be required to be carried out by Environmental Health Services prior to commencing operation. Further information may be obtained from the City of Bunbury's Environmental Health Services on (08) 9792 7100.

- e) The development is defined as a "Food Business" under the Food Act 2008. The development must comply with the Food Act 2008 and Food Regulations 2009. Further information can be obtained from the City of Bunbury's Environmental Health Services on (08) 9792 7100 or (08) 9792 7000.
- f) The City of Bunbury advises that as a food business serving food to vulnerable persons, the proposed childcare centre will be required to also comply with clause 3.3.1 of the Australian Food Safety Standards - Food Safety Programs for Food Service to Vulnerable Persons.
- g) Where a new crossover is proposed, and before construction of it can commence, a separate verge crossover application must be submitted and approved.

A permit application form can be obtained on the City's website www.bunbury.wa.gov.au.

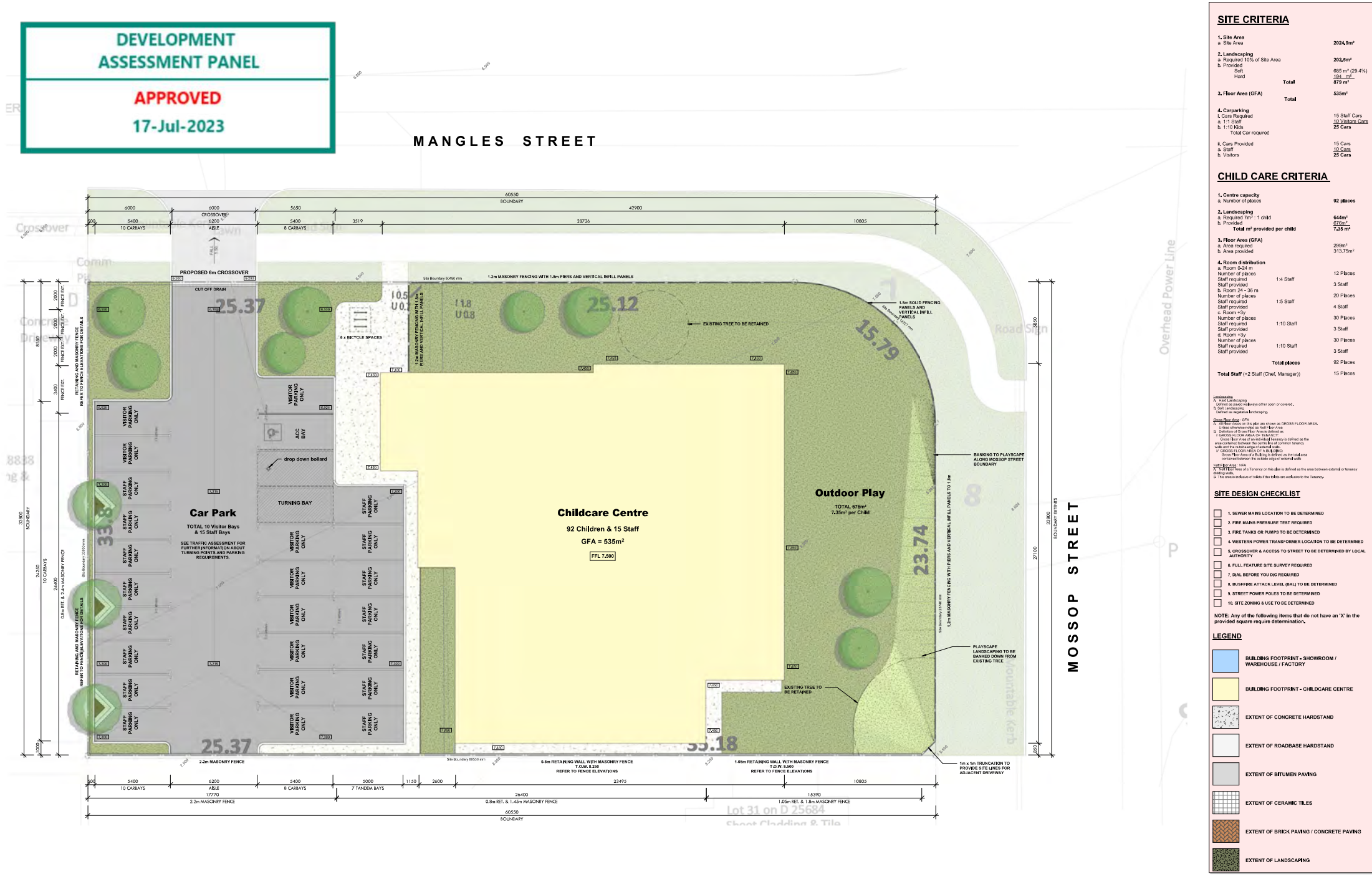
- h) The applicant is advised that the crossover is not to go through the concrete path on the verge of Mangles Street. The path is to remain to reinforce pedestrians have right of way.
- i) The applicant is advised that the City of Bunbury's rubbish trucks are longer than the 6.9m small rear lift rubbish trucks required for vehicle manoeuvring on site and as such the applicant will need to engage a private contracting service.

Where an approval has so lapsed, no development shall be carried out without further approval having first been sought and obtained, unless the applicant has applied and obtained Development Assessment Panel approval to extend the approval term under regulation 17(1)(a) or local government approval under regulation 17A of the Planning and Development (Development Assessment Panels) Regulations 2011.

DEVELOPMENT
ASSESSMENT PANEL

APPROVED

17-Jul-2023



SITE CRITERIA

1. Site Area

a. Site Area

2024.9m²

2. Landscaping

a. Required 10% of Site Area

202.5m²

b. Provided

Soft

685 m² (29.4%)

Hard

184 m²

Total

870 m²

3. Floor Area (GFA)

Total

535m²

4. Carparking

i. Cars Required

15 Staff Cars

a. 1:1 Staff

15 Visitors Cars

b. 1:10 Kids

25 Cars

Total Car required

15 Cars

a. Staff

15 Cars

b. Visitors

25 Cars

CHILD CARE CRITERIA

1. Centre capacity

a. Number of places

92 places

2. Landscaping

a. Required 10% of 1 child

644m²

b. Provided

670m²

Total m² provided per child

7.35 m²

3. Floor Area (GFA)

a. Area Required

299m²

b. Area provided

313.75m²

4. Room distribution

a. Room 0-24 m

Number of places

1:4 Staff

12 Places

Staff provided

3 Staff

b. Room 24 - 36 m

Number of places

20 Places

Staff provided

4 Staff

c. Room >36 m

Number of places

1:10 Staff

30 Places

Staff provided

3 Staff

d. Room >36 m

Number of places

1:10 Staff

30 Places

Staff provided

3 Staff

Total places

92 Places

Total Staff (+2 Staff (Chief Manager))

15 Places

LEGEND

BUILDING FOOTPRINT - SHOWROOM / WAREHOUSE / FACTORY

BUILDING FOOTPRINT - CHILDCARE CENTRE

EXTENT OF CONCRETE HARDSTAND

EXTENT OF ROADBASE HARDSTAND

EXTENT OF BITUMEN PAVING

EXTENT OF CERAMIC TILES

EXTENT OF BRICK PAVING / CONCRETE PAVING

EXTENT OF LANDSCAPING

DEVELOPMENT ASSESSMENT PANEL

APPROVED
17-Jul-2023

MANGLES STREET

SITE CRITERIA

1. Site Area	2024.5m ²
a. Site Area	
2. Landscaping	202.5m ²
a. Required 10% of Site Area	
b. Provided	0.95 m ² (29.4%)
	184 m ²
	879 m ²
3. Floor Area (GFA)	535m ²
4. Carparking	
i. Cars Required	15 Staff Cars
a. 1:1 Staff	10 Visitors Cars
b. 1:10 Kids	25 Cars
Total Car required	
i. Cars Provided	15 Cars
a. Staff	10 Cars
b. Visitors	25 Cars

CHILD CARE CRITERIA

1. Centre capacity	92 places
a. Number of places	
2. Landscaping	644m ²
a. Required 10% of 1 child	
b. Provided	879m ²
Total m ² provided per child	7.35 m ²
3. Floor Area (GFA)	299m ²
a. Area required	313.75m ²
b. Area provided	
4. Room distribution	
a. Room 1-24 m	
Number of places	1:4 Staff
Staff provided	3 Staff
b. Room 24 - 36 m	
Number of places	1:5 Staff
Staff provided	4 Staff
c. Room +3y	
Number of places	1:10 Staff
Staff provided	3 Staff
d. Room +3y	
Number of places	1:10 Staff
Staff provided	3 Staff
Total places	92 Places
Total Staff (+2 Staff (Chef, Manager))	15 Places

NOTES:
 1. Refer to drawings.
 2. Refer to drawings and/or other open or covered.
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 100. Refer to drawings.

SITE DESIGN CHECKLIST

- ☐ 1. SEWER MAINS LOCATION TO BE DETERMINED
- ☐ 2. FIRE MAINS PRESSURE TEST REQUIRED
- ☐ 3. FIRE TANKS OR PUMPS TO BE DETERMINED
- ☐ 4. WASTEWATER POWER TRANSFORMER LOCATION TO BE DETERMINED
- ☐ 5. CROSSLINK AND ACCESS TO STREET TO BE DETERMINED BY LOCAL AUTHORITY
- ☐ 6. FULL FEATURE SITE SURVEY REQUIRED
- ☐ 7. DIAL BEFORE YOU DIG REQUIRED
- ☐ 8. BUSHFIRE ATTACK LEVEL (BAL) TO BE DETERMINED
- ☐ 9. STREET POWER POLES TO BE DETERMINED
- ☐ 10. SITE ZONING & USE TO BE DETERMINED

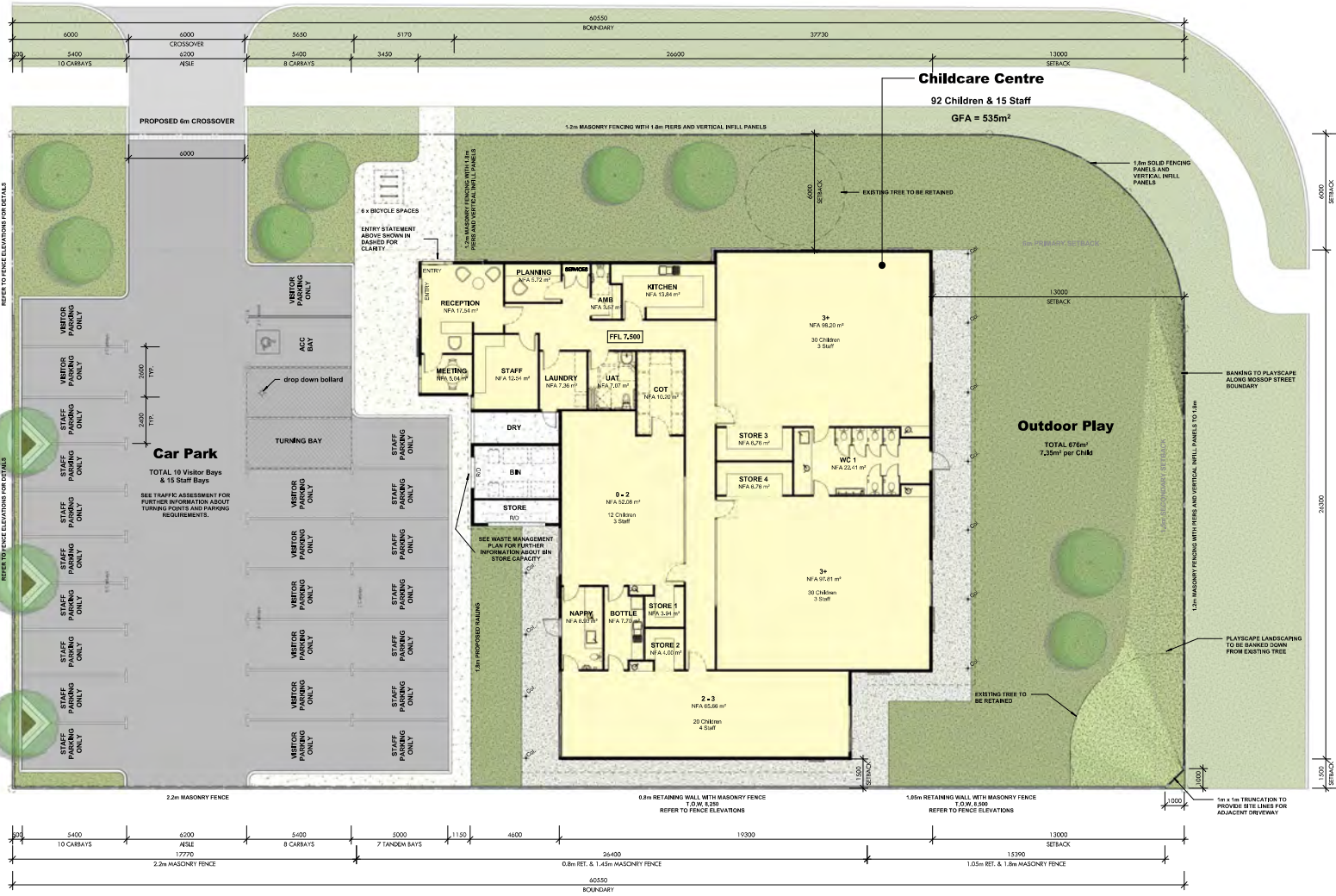
NOTE: Any of the following items that do not have an 'X' in the provided square require determination.

LEGEND

	BUILDING FOOTPRINT - SHOWROOM / WAREHOUSE / FACTORY
	BUILDING FOOTPRINT - CHILDCARE CENTRE
	EXTENT OF CONCRETE HARDSTAND
	EXTENT OF ROADBASE HARDSTAND
	EXTENT OF BITUMEN PAVING
	EXTENT OF CERAMIC TILES
	EXTENT OF BRICK PAVING / CONCRETE PAVING
	EXTENT OF LANDSCAPING

Childcare Centre 92 Children & 15 Staff GFA = 535m²

Outdoor Play TOTAL 676m² 7.35m² per Child



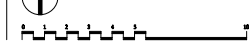
GROUND FLOOR PLAN

SCALE 1:100

meyer
shircore
architects

CHILD CARE CENTRE SOUTH BUNBURY

LOCATION : 83 MANGLES & 6 MOSSOP STREET, SOUTH BUNBURY
FOR : STRATEGIC PROPERTY GROUP



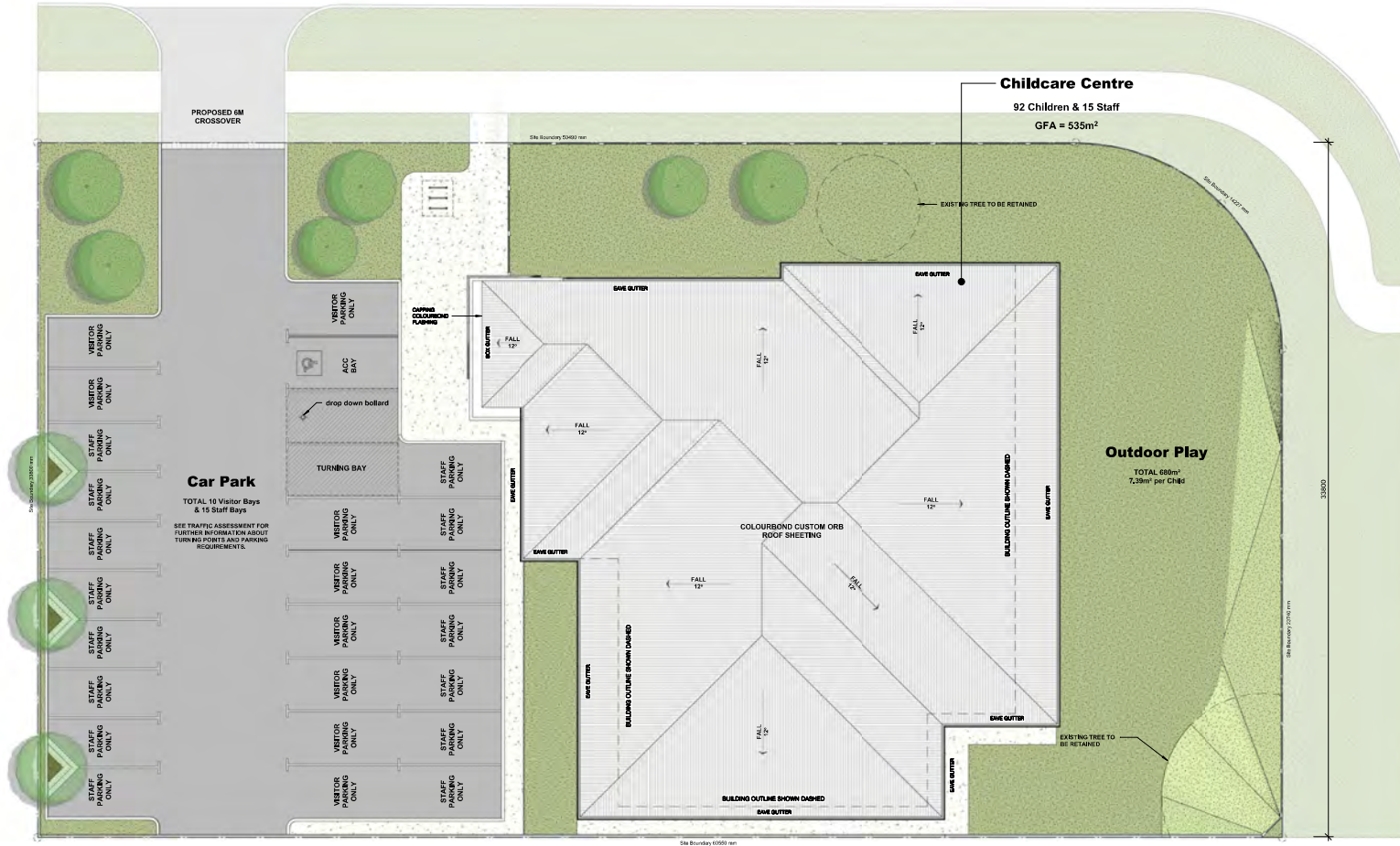
DATE: MAY 2023 PROJECT NUMBER
 REVISION: SK006 22-9094
 SHEET: 2000
 SCALE: 1:100
 © Meyer Shircore & Associates
 10/11, South Street, 4000 Hobart, Tasmania 7000
 Phone: 03 6236 8800 Fax: 03 6236 8801
 Email: info@meyerarchitects.com.au

DEVELOPMENT ASSESSMENT PANEL

APPROVED
17-Jul-2023

MANGLES STREET

MOSSOP STREET



ROOF PLAN
SCALE: 1:100

17-Jul-2023



SCALE: 1 : 100



EAST
SCALE: 1 : 100



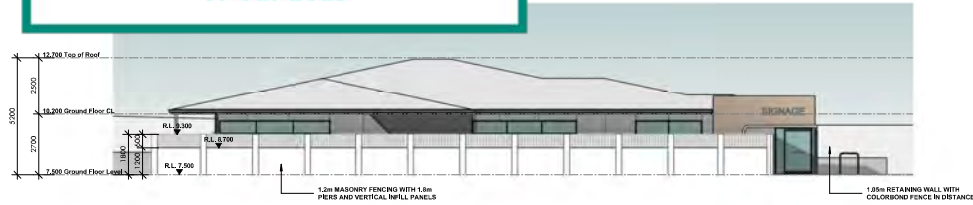
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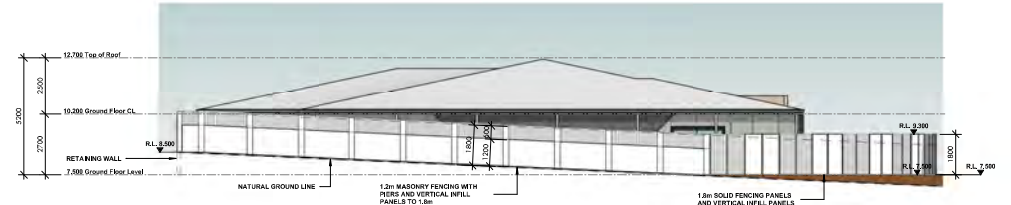
DEVELOPMENT ASSESSMENT PANEL

APPROVED
17-Jul-2023



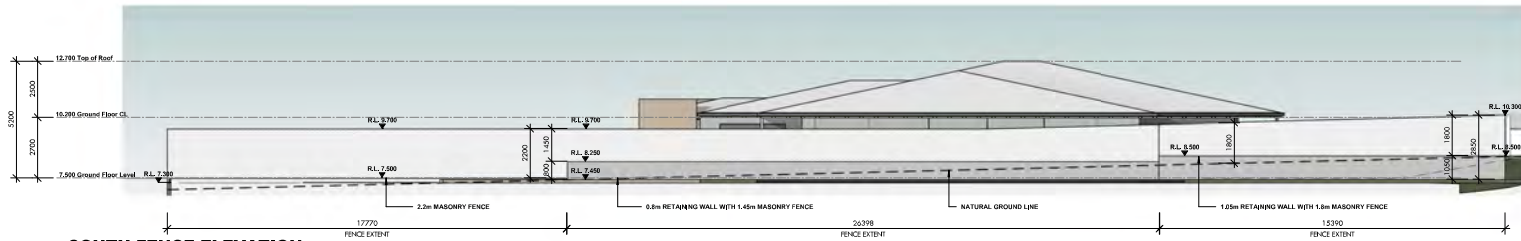
NORTH FENCE ELEVATION

SCALE: 1:100



EAST FENCE ELEVATION

SCALE: 1:100



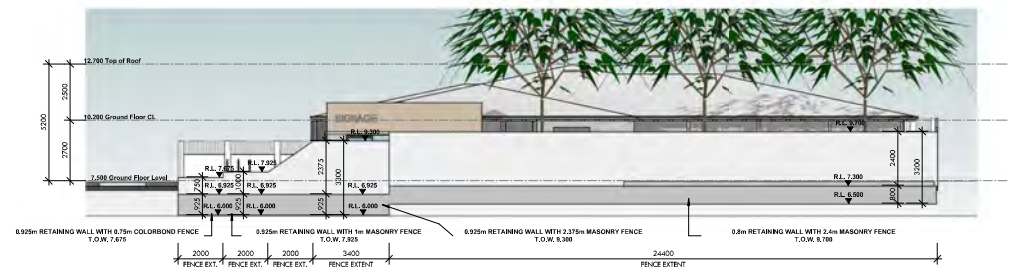
SOUTH FENCE ELEVATION

SCALE: 1:100



WEST FENCE ELEVATION

SCALE: 1:100



WEST FENCE ELEVATION

SCALE: 1:100

INCL. NEIGHBOURING FENCE

DEVELOPMENT
ASSESSMENT PANEL

APPROVED

17-Jul-2023



22 May 2023

Trent Fleskens
Managing Director,
Strategic Property Group,
308 Fitzgerald Street,
PERTH WA 6000

Dear Trent,

RE: TRANSPORT IMPACT STATEMENT FOR PROPOSED CHILD CARE CENTRE
LOT 40 (NO. 83) MANGLES & LOT 10 (NO. 6) MOSSOP STREET, SOUTH BUNBURY

As requested, we have now reviewed the traffic and parking situation regarding the proposed Child Care Centre development at Lot 40 (No. 83) Mangles Street and Lot 10 (No. 6) Mossop Street, South Bunbury, which is located at the south west corner of the Mangles Street - Mossop Street intersection, just east of the Mangles Street intersection with Minninup Road, as shown in the Locality Plan in the attached Figure 1.

1. EXISTING SITUATION AND PROPOSED DEVELOPMENT SITE

- It can be seen in the Locality Plan (in Figure 1) that Mangles Street is an east-west distributor road extending west from Blair Street to Minninup Road and then further west towards Ocean Drive, while Minninup Road is a north-south distributor road bisecting the residential catchment that extends from Blair Street to the coast.
- It can also be seen in Figure 1 that there are four schools within just over 1 kilometre of the proposed development, including Adam Road Primary School and Newton Moore Senior High School (to the south) and St Mary's Catholic Primary School and South Bunbury Primary School (to the northeast).
- The existing roads and intersections in the vicinity of the proposed development are shown in the aerial photograph in the attached Figure 2, while the existing situation within and immediately adjacent to the site is shown in more detail in the attached Figure 3.
- It can be seen in Figures 2 and 3 that Mangles Street is a wide 2-lane undivided road with double white barrier lines separating the 2 lanes, while Mossop Street is a narrower 2-lane undivided road with no lane lines (but with Stop line control at its intersection with Mangles Street). Mangles Street is identified as a Local Distributor road under the Main Roads WA Functional Road Hierarchy, while Mossop Street is identified as an Access Road, with both roads operating under the default urban area speed limit of 50 kilometres per hour.
- It can be seen in Figure 3 that the proposed development site is currently occupied by 2 residential dwellings, with access for each property via separate crossovers off Mangles Street. It can also be

g footpath along the southern side of Mangles Street immediately adjacent
nt.

- The Main Roads WA Trafficmap website shows that there are no traffic counts readily available close to the proposed development site. However, on the basis of SCATS traffic count data at the Blair Street - Mangles Street intersection, and tube count data at Minninup Road south of Adam Street, it is suggested that existing traffic flows on Mangles Street at Mossop Street could be in the order of 3,000 to 5,000 vehicles per day.
- Historical crash data was also obtained from Main Roads WA, indicating only 3 incidents on Mangles Street in the vicinity of the development site over the past 5 years to December 2021. Two incidents occurred at the Minninup Road - Mangles Street intersection, with one incident occurring in the evening involving a vehicle colliding with a fence, while the second incident was a scooter losing grip of the road surface and slipping underneath the rider. The third incident, closest to the proposed development site, was a rear end collision that occurred midblock on Mangles Street and involved a vehicle reversing out of a driveway.
- The nearest available Bus Services are Routes 830, 832 and 843, which travel from Bunbury Bus Station to/from College Grove, Bunbury Health Campus, and Dalyellup with the closest bus stops located approximately 170 metres east of the proposed development site, in Mangles Street and 270 metres west in Minninup Road, as also shown in Figure 2.

2. PROPOSED DEVELOPMENT

- The proposed development plan is shown in the attached Figure 4, as prepared by Meyer Shircore architects. The proposal includes the construction of a purpose-built Child Care Centre (for up to 92 children), with a gross floor area of 535 square metres plus an outdoor play area of 680 square metres.
- The attached Figure 5 then shows the proposed development plan superimposed on the aerial photograph from Figure 3, identifying the proposed development in the context of the adjacent road network.
- It can be seen in Figures 4 and 5 that the plan proposes a total of 25 parking spaces for staff and visitors, including 1 accessible (disabled) space, and with a 2-way access driveway off Mangles Street. Pedestrian access to the Child Care Centre is also proposed directly off Mangles Street (adjacent to the car park access driveway), to link with the existing footpath along Mangles Street.
- Rubbish collection for the Centre is proposed to occur within the car park, with a turning area provided to allow a small (6.9 metre) truck to enter and exit the site in forward gear, with bins to be wheeled out from the proposed Bin Store located at the south-east corner of the car park.

3. PARKING REQUIREMENTS

- Car parking requirements are specified in Table 7 (Schedule 4) of the City of Bunbury Local Planning Scheme No. 8, with a requirement to provide 1 space per employee plus 1 space per 10 children the premises is designed and approved to accommodate. With 15 staff for the maximum 92 children, the proposed Child Care Centre therefore requires a total of 25 car parking spaces as provided on the proposed development plan.
- It is important to note that Local Planning Policy 3.1 '*Access & Parking for Pedestrians, Bicycles and Vehicles*' provides no minimum bicycle parking requirement for Child Care Premises. However, the current development plan shows 6 bicycle parking spaces for the proposed Centre, located adjacent to the entrance.

- On the basis of previous surveys and available data, it is estimated that the proposed Child Care Centre will generate a total of 4 vehicle trips per child per day, with peak hour flows of 0.69 trips per child during the morning peak hour and 0.76 trips per child during the afternoon peak hour. The Child Care Centre is therefore estimated to generate a total of 370 vehicle trips per day, with 64 vehicle trips and 70 vehicle trips, respectively, during the AM and PM peak hours.
- With a trip generation of less than 100 vehicle trips during both the AM and PM peak hours, the proposed development is therefore expected to have minimal impact on the existing road network. It is also likely that a proportion of the total traffic generation will be 'passing trips' that are already on the road network (along Mangles Street), travelling to/from the surrounding residential areas. It is also expected that some trips will be linked with the pick-up and drop-off of children at the nearby schools.

5. PROPOSED CAR PARK LAYOUT AND RECOMMENDED ACCESS

The attached Figure 6 shows the recommended car park layout and access arrangement for the proposed development, while Figure 7 shows the resulting swept paths for rubbish trucks accessing the site, as follows:

- It can be seen in Figure 6 that the proposed Child Care Centre car park provides a total of 25 parking spaces, with 15 Staff spaces (including 6 as the restricted part of a tandem space) plus 10 Visitor (pick-up/drop-off) spaces, including 1 Accessible (disabled) space plus an adjacent shared area (in accordance with Australian Standard AS 2890.6) located immediately adjacent to the front of the Centre.
- Visitor parking space dimensions are all 2.6 metres x 5.4 metres (as required for User Class 3 under Australian Standard AS 2890.1), while Staff-only parking spaces are reduced to a width of 2.4 metres, with a 6.2 metre aisle (as required for User Class 1 under AS 2890.1).
- A dedicated 'Turning Bay' is also provided (adjacent to the shared area next to the Accessible Bay), to allow cars to turnaround and exit the car park in forward gear if all parking spaces are full, noting that the length of the dead-end aisle beyond the turning bay is the equivalent of 6 parking spaces (as permitted under AS 2890.1).
- It is also proposed to install a retractable bollard within the shared area next to the Accessible Bay, in order to create a 5.2 metre turnaround area for the rubbish truck, as also shown in Figure 6.
- Figure 7 then shows the swept path for a 6.9 metre rubbish truck accessing the proposed car park and using the proposed turnaround area, before collecting rubbish (from bins that will be wheeled out from the Bin Store) and then exiting the site.

I trust that the above review of traffic and parking requirements, together with the proposed car park layout and access arrangement are sufficient to confirm the operation and safety of the proposed Development Application. However, please do not hesitate to contact me if you require anything further.

Yours sincerely,



Darren Levey

SOURCE: NI



SOURCE: NI

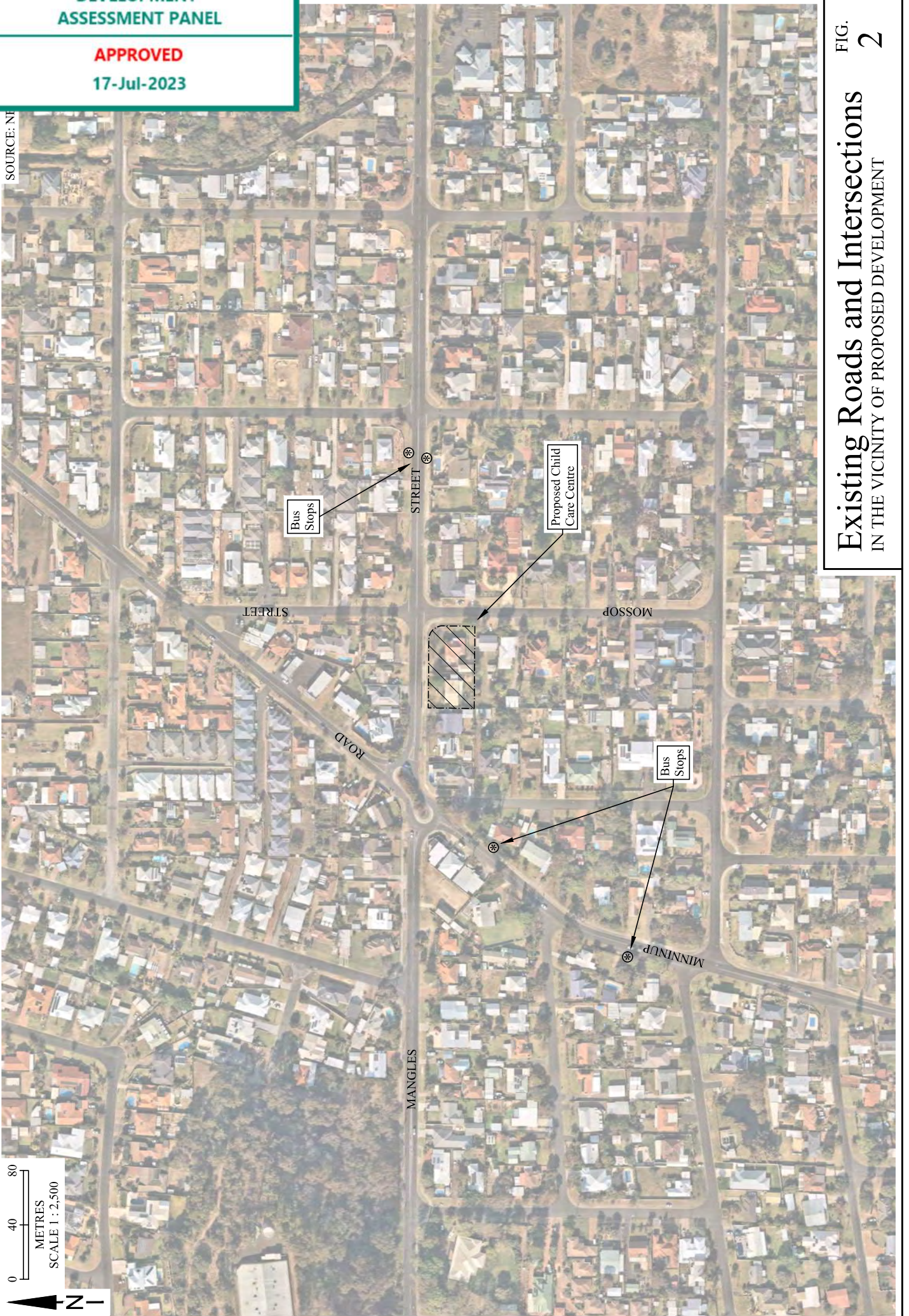


FIG. 2
Existing Roads and Intersections
IN THE VICINITY OF PROPOSED DEVELOPMENT

SOURCE: NI

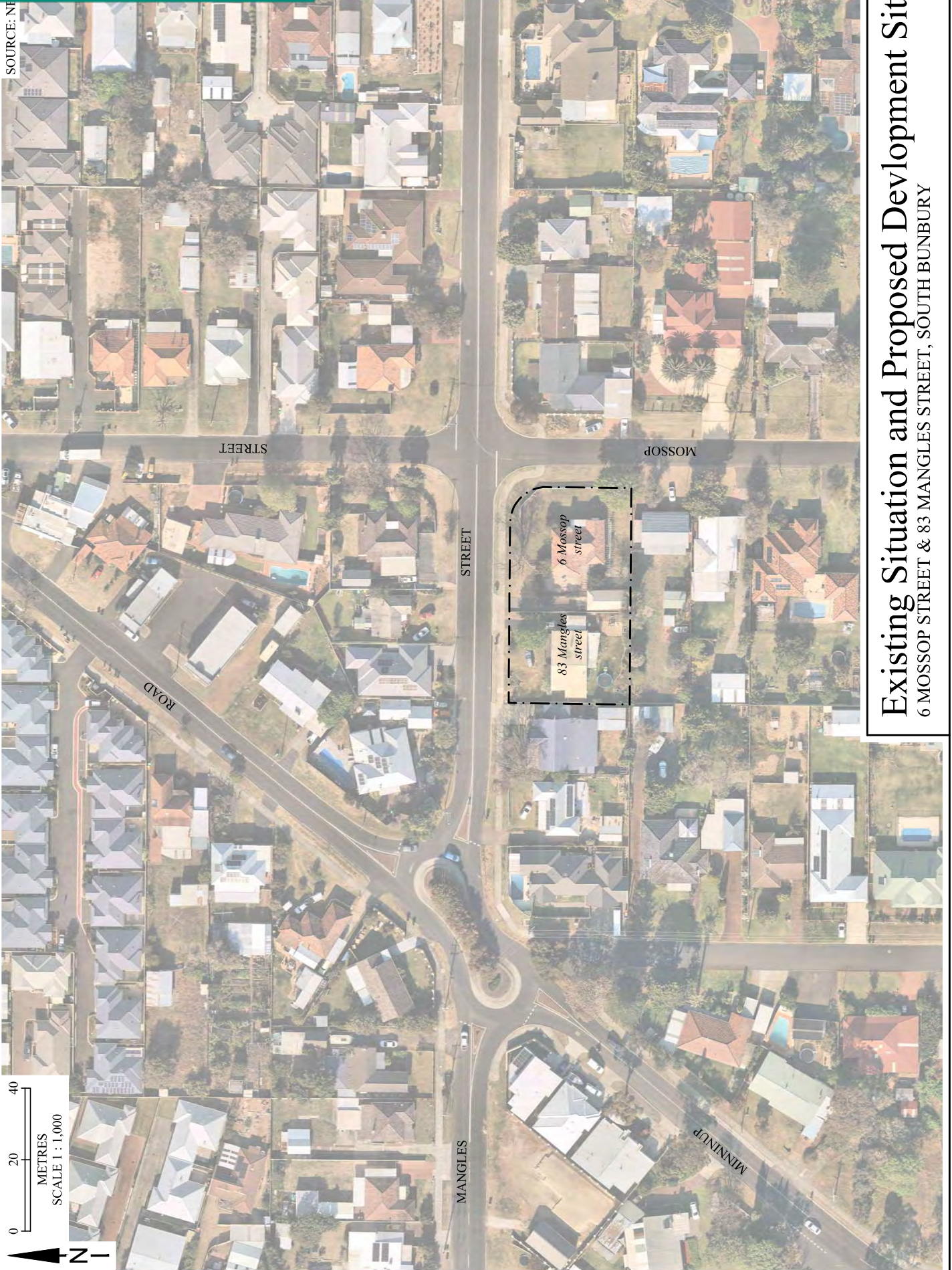




FIG. 4

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SOURCE: ULOT



FIG. 5

Proposed Development Plan

MANGLES STREET CHILD CARE CENTRE

0 10 20
METRES
SCALE 1 : 500

SOURCE: ULOT

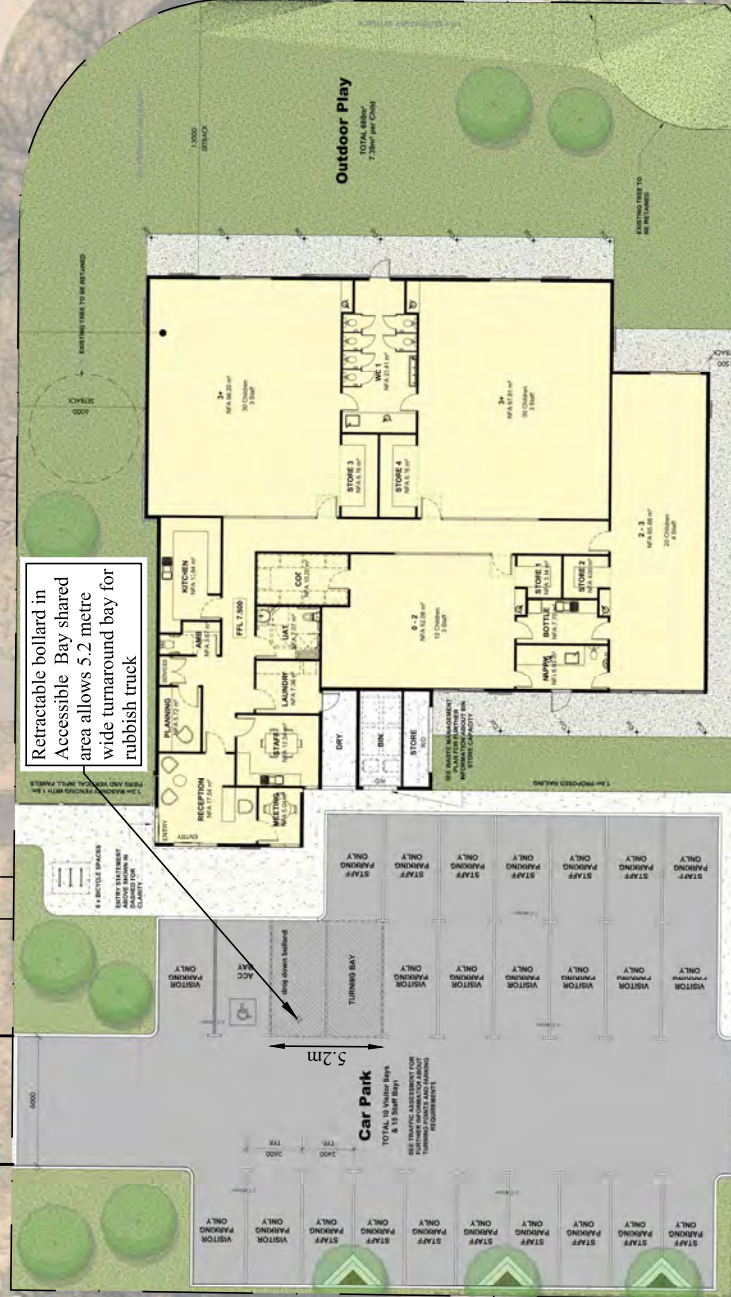


MANGLES

STREET

STREET

MOSSOP



Retractable bollard in Accessible Bay shared area allows 5.2 metre wide turnaround bay for rubbish truck

FIG. 6
Car Park Layout and Access
FOR PROPOSED CHILD CARE CENTRE

SOURCE: ULOT



MANGLES

STREET

STREET

MOSSOP

Rubbish Truck 2

Outdoor Play

TOTAL AREA
7.35m² per Child

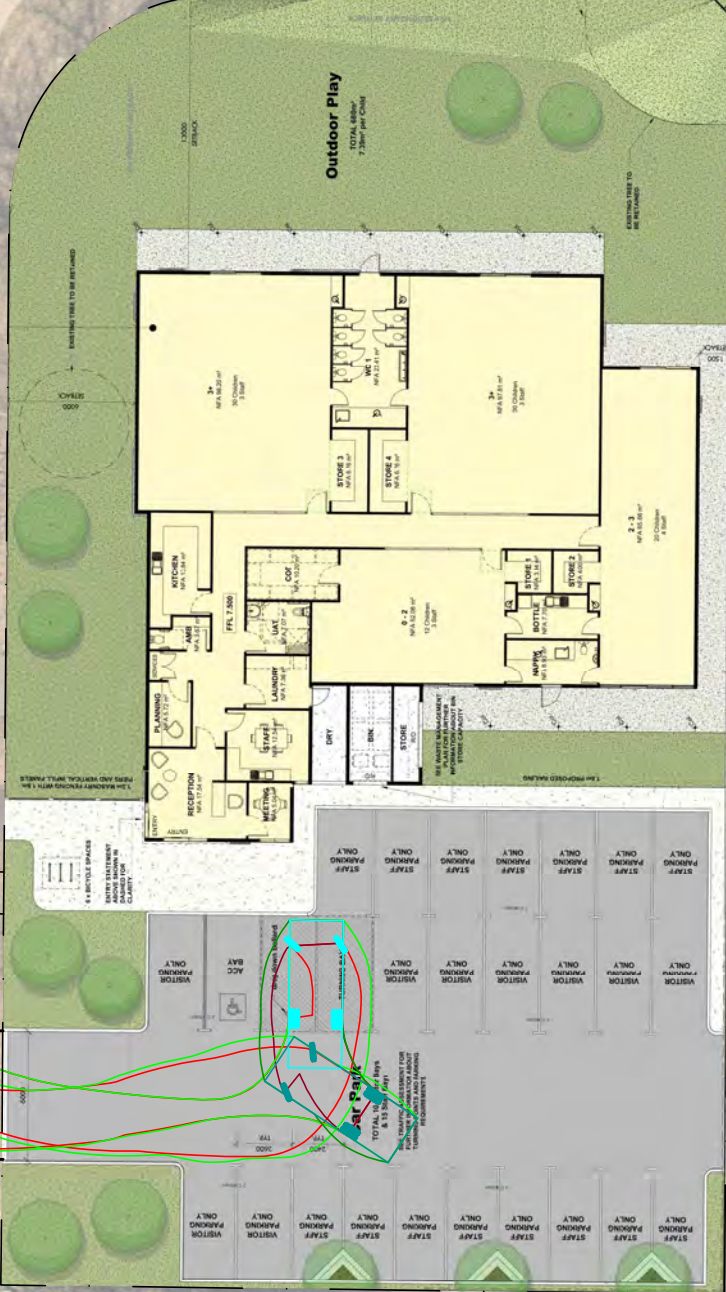


FIG. 7
Swept Paths for Rubbish Truck (6.9m)
ACCESSING PROPOSED CHILD CARE CENTRE



**PROPOSED CHILD CARE CENTRE
83 MANGLES & 6 MOSSOP STREETS
SOUTH BUNBURY**

ENVIRONMENTAL ACOUSTIC ASSESSMENT

DECEMBER 2022

OUR REFERENCE: 30387-3-22388



DOCUMENT CONTROL PAGE

ENVIRONMENTAL ACOUSTIC ASSESSMENT
PROPOSED CHILD CARE CENTRE
SOUTH BUNBURY

Job No: 22388

Document Reference: 30387-3-22388

FOR

STRATEGIC PROPERTY GROUP

DOCUMENT INFORMATION				
Author:	Tim Reynolds	Checked By:	George Watts	
Date of Issue:	2 December 2022			
REVISION HISTORY				
Revision	Description	Date	Author	Checked
1	Updated Plans	23/05/23	TR	N/A
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1	1	Strategic Property Group Attn: Trent Fleskens Email: trent@strategicpropertygroup.com.au		✓
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This report has been prepared in accordance with the scope of services and on the basis of information and documents provided to Herring Storer Acoustics by the client. To the extent that this report relies on data and measurements taken at or under the times and conditions specified within the report and any findings, conclusions or recommendations only apply to those circumstances and no greater reliance should be assumed. The client acknowledges and agrees that the reports or presentations are provided by Herring Storer Acoustics to assist the client to conduct its own independent assessment.

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2.	SUMMARY	1
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4.	PROPOSAL	4
5.	MODELLING	4
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7.	CONCLUSION	8

APPENDICES

A	PLANS
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1. INTRODUCTION

Herring Storer Acoustics were commissioned to undertake an acoustic assessment of emissions associated with the proposed day care centre to be located at 83 Mangles Mossop Streets, South Bunbury.

The report considers noise received at the neighbouring premises from the proposed development for compliance with the requirements of the *Environmental Protection Regulations 1997*. This report considers noise emissions from:

- Children playing within the outside play areas of the centre; and
- Mechanical services.

We note that from information received from DWER, the bitumised area would be considered as a road, thus noise relating to motor vehicles is exempt from the *Environmental Protection (Noise) Regulations 1997*. We note that these noise sources are rarely critical in the determination of compliance. However, as requested by council and for completeness, they have been included in the assessment, for information purposes only.

For information, a plan of the proposed development is attached in Appendix A.

2. SUMMARY

Noise received at the neighbouring residences from the outdoor play area would comply with day period assigned noise level, with fencing as shown on the drawings attached in Appendix A.

The air conditioning condensing units, being located within the drying court, have also been assessed to comply with the requirements of the *Environmental Protection (Noise) Regulations 1997* at all times.

It is noted that noise associated with cars movements and cars starting are exempt from complying with the Regulations. However, noise emissions from car doors are not strictly exempt from the Regulations. Noise received at the neighbouring residences from these noise sources would comply at all times, with the fencing, as shown in Appendix A and the parking restrictions, as shown in Figure 5.1 in Section 5.

Thus, noise emissions from the proposed development, would be deemed to comply with the requirements of the *Environmental Protection (Noise) Regulations 1997* for the proposed hours of operation, with the inclusion of the following:

- 1 Although the proposed facility would open before 7 am (ie during the night period), the outdoor play area would not be used until after 7am. Thus, noise received at the neighbouring existing residences from the outdoor play area needs to comply with the assigned day period noise level.
- 2 Fencing to be as shown in Appendix A. We note that for this development, colourbond is an acceptable fencing material.
- 3 Parking to be restricted, as shown in Figure 5.1 in Section 5.

- 4 The air conditioning condensing units to be located within the drying court and / the west of the drying court (ie outside the staff room) and screened neighbouring premises. Although compliance is achieved at full load, recommended that the air conditioning condensing units be installed with “ night period modes.
- 5 As the air conditioning has not been design at this stage, it is recommended the design be reviewed / assessed to ensure compliance with the Environmental Protection (Noise) Regulations 1997 are achieved and mitigation measures are required for the final design.

3. CRITERIA

The allowable noise level at the surrounding locales is prescribed by the *Environmental Protection (Noise) Regulations 1997*. Regulations 7 & 8 stipulate maximum allowable external noise levels. For highly sensitive area of a noise sensitive premises this is determined by the calculation of an influencing factor, which is then added to the base levels shown below in Table 3.1. The influencing factor is calculated for the usage of land within two circles, having radii of 100m and 450m from the premises of concern. For other areas within a noise sensitive premises, the assigned noise levels are fixed throughout the day, as listed in Table 3.1.

TABLE 3.1 - BASELINE ASSIGNED OUTDOOR NOISE LEVEL

Premises Receiving Noise	Time of Day	Assigned Level (dB)		
		L _{A10}	L _{A1}	L _{Amax}
Noise sensitive premises: highly sensitive area	0700 - 1900 hours Monday to Saturday (Day)	45 + IF	55 + IF	65 + IF
	0900 - 1900 hours Sunday and Public Holidays (Sunday / Public Holiday Day)	40 + IF	50 + IF	65 + IF
	1900 - 2200 hours all days (Evening)	40 + IF	50 + IF	55 + IF
	2200 hours on any day to 0700 hours Monday to Saturday and 0900 hours Sunday and Public Holidays (Night)	35 + IF	45 + IF	55 + IF
Commercial Premises	All hours	60	75	80

Note:

L_{A10} is the noise level exceeded for 10% of the time.

L_{A1} is the noise level exceeded for 1% of the time.

L_{Amax} is the maximum noise level.

IF is the influencing factor.

It is a requirement that received noise be free of annoying characteristics (tonality, modulation and impulsiveness), defined below as per Regulation 9.

“impulsiveness”

means a variation in the emission of a noise where the difference between L_{Apeak} and L_{Amax(Slow)} is more than 15 dB when determined for a single representative event;

“modulation”

means a variation in the emission of noise that –

- (a) is more than 3 dB L_{AFast} or is more than 3 dB L_{AFast} in any one-third octave band;
- (b) is present for more at least 10% of the representative assessment period; and
- (c) is regular, cyclic and audible;

“tonality”

means the presence in the noise emission of characteristics where the difference between –

- (a) the A-weighted sound pressure level in any one octave band; and
 - (b) the arithmetic average of the A-weighted sound pressure levels in the 2 adjacent one-third octave bands,
- is greater than 3 dB when the sound pressure level is determined as $L_{Aeq,T}$ levels where the time period T is greater than 10% of the representative assessment period greater than 8 dB at any time when the sound pressure levels are determined as $L_{A_{slow}}$ levels.

Where the noise emission is not music, if the above characteristics exist and cannot be practicably removed, then any measured level is adjusted according to Table 3.2 below.

TABLE 3.2 - ADJUSTMENTS TO MEASURED LEVELS

Where tonality is present	Where modulation is present	Where impulsiveness is present
+5 dB(A)	+5 dB(A)	+10 dB(A)

Note: These adjustments are cumulative to a maximum of 15 dB.

For this development, the closest existing neighbouring residences are located to the east and south, with future residence(s) to the north. An aerial showing the neighbouring premises are shown below on Figure 3.1.



FIGURE 3.1 – NEIGHBOURING LOTS

At the neighbouring residences, the Influencing Factor has been determined to be 0 dB. Thus, the assigned noise levels would be as listed in Table 3.3.

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TABLE 3.3 - ASSIGNED OUTDOOR NOISE LEVEL

Premises Receiving Noise	Time of Day	Assigned Level (dBA)	
		L _{A10}	L _{A1}
Noise sensitive premises: highly sensitive area	0700 - 1900 hours Monday to Saturday (Day)	45	55
	0900 - 1900 hours Sunday and Public Holidays (Sunday / Public Holiday Day)	40	50
	1900 - 2200 hours all days (Evening)	40	50
	2200 hours on any day to 0700 hours Monday to Saturday and 0900 hours Sunday and Public Holidays (Night)	35	45

Note:
L_{A10} is the noise level exceeded for 10% of the time.
L_{A1} is the noise level exceeded for 1% of the time.
L_{Amax} is the maximum noise level.

4. PROPOSAL

From information supplied, we understand that the child care centre normal hours of operations would be between 0630 and 1830 hours, Monday to Friday (closed on public holidays). It is understood that the proposed childcare centre will cater for a maximum of 92 children: with the following breakdown:

Activity 1	0 - 2 years	12 places
Activity 2	2 - 3 years	20 places
Activity 3	3+ years	30 places
Activity 4	3 + years	30 places

It is noted that although the proposed child care centre would open before 7 am (ie during the night period), the outdoor play area would not be used until after 7am.

5. MODELLING

To assess the noise received at the neighbouring premises from the proposed development, noise modelling was undertaken using the noise modelling program SoundPlan.

Calculations were carried out using the DWER’s weather conditions, which relate to worst case noise propagation, as stated in the Department of Environment Regulation “*Draft Guidance on Environmental Noise for Prescribed Premises*”. These conditions include winds blowing from sources to the receiver(s).

Calculations were based on the sound power levels used in the calculations are listed in Table 5.1.

TABLE 5.1 – SOUND POWER LEVELS

Item	Sound Power Level, dB(A)
Children Playing	83 (per 10 children)
Car Moving in Car Park	
Car Starting	79
Door Closing	85
Air conditioning condensing Unit	87
	3 @ 72

Notes:

- 1 From the management plan, we understand that not all the children would be outside at the one time. The number of children outside at any one time would be as per the following table.

All children will not be outside at once – either as a whole centre or as a room/age group.

Typical daily outdoor play schedule for indoor/outdoor play												
Age group	7.00	8.00	9.00	10.00	11.00	12.00	13.00	14.00	15.00	16.00		
0-2	Nil	Nil	8	Nil	Nil	Nil	Nil	8	Nil	Nil	Nil	Nil
2-3	Nil	Nil	10	10	10	Nil	Nil	Nil	10	10	10	10
3-5	Nil	Nil	Nil	28	28	Nil	28	28	28	28	28	28
Total	Nil	Nil	18	38	38	Nil	28	36	38	38	38	38

- 2 Even though the noise emissions from children under the age of 2 years is relatively low compared to the other children, to be conservative, acoustic modelling of outdoor play noise was made, based on 70 children playing within the outdoor play areas at the one time, utilising 7 groups of 10 children, sound power levels distributed as plane sources.
- 3 The noise level for the air conditioning has been based on the sound power levels used for previous assessment of child care centres. From other studies, we understand that the noise associated with the condensing units would be conservative.
- 4 For this development, it is Recommended that the air conditioning condensing units would be located within the drying court or the area to the west of the drying court and staff room; and be screened from neighbouring premises.
- 5 The noise modelling has been based on fencing, as shown on the attached plans.
- 6 Modelling shows that noise received at the neighbouring residences from car doors closing would comply with the assigned noise level for the day period. However, to achieve compliance during the night period (ie before 7am), for staff arriving, the parking needs to be restricted, as shown on Figure 5.1.
- 7 Noise modelling was undertaken to a number of different receiver locations for each of the neighbouring residences. However, to simplify the assessment, only the noise level in the worst case location (ie highest noise level), have been listed.

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FIGURE 5.1 – PARKING RESTRICTIONS

6. ASSESSMENT

The resultant noise levels at the neighbouring residence from children playing outdoors and the mechanical services are tabulated in Table 6.1.

From previous measurements, noise emissions from children playing does not contain any annoying characteristics. Noise emissions from the mechanical services could be tonal and a +5 dB(A) penalty would be applicable, as shown in Table 6.1. Noise emissions from both outdoor play and the mechanical services needs to comply with the assigned L_{A10} noise levels.

TABLE 6.1 - ACOUSTIC MODELLING RESULTS FOR L_{A10} CRITERIA
OUTDOOR PLAY AREAS AND MECHANICAL PLANT

Neighbouring Premises	Calculated Noise Level (dB(A))	
	Children Playing	Air Conditioning
North	44	20 (25)
East	45	13 (18)
South	44	29 (34)
West	31	26 (31)

() Includes +5 dB(A) penalty for tonality

With regards to noise associated with cars within the parking area, resultant noise levels are tabulated in Tables 6.2 and 6.3. It is noted that noise emissions from a moving car being an L_{A1} noise level, with noise emissions from cars starting and doors closing being an L_{Amax} noise level.

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Based on the definitions of tonality, noise emissions from car movements and car starts, an L_{A1} and $L_{A\text{Max}}$ respectively, being present for less than 10% of the time, would not be considered tonal. Thus, no penalties would be applicable, and the assessment would be as in Table 6.2 (Car Moving) and Table 6.3 (Car Starting). However, noise emissions from car closing could be impulsive, hence the +10dB penalty has been included in the assessment

TABLE 6.2 - ACOUSTIC MODELLING RESULTS L_{A1} CRITERIA
CAR MOVING

Neighbouring Premises	Calculated Noise Level (dB(A))
North	43
East	22
South	31
West	40

TABLE 6.3 - ACOUSTIC MODELLING RESULTS $L_{A\text{max}}$ CRITERIA
CAR STARTING / DOOR CLOSING

Neighbouring Premises	Calculated Noise Level (dB(A))			
	Car Starting		Door Closing	
	Day Period	Night Period	Day Period	Night Period
North	49	43	50 [60]	45 [55]
East	36	24	37 [47]	26 [36]
South	42	42	45 [55]	45 [55]
West	44	44	45 [55]	45 [55]

[] Includes +10 dB(A) penalty for impulsiveness.

Tables 6.4 to 6.10 summarise the applicable Assigned Noise Levels, and assessable noise level emissions for each identified noise.

TABLE 6.4 – ASSESSMENT OF L_{A10} NOISE LEVEL EMISSIONS
OUTDOOR PLAY (DAY PERIOD)

Location	Assessable Noise Level dB(A)	Applicable Assigned Noise Level (dB(A))	Exceedance to Assigned Noise Level
North	44	45	Complies
East	45	45	Complies
South	44	45	Complies
West	31	45	Complies

TABLE 6.5 – ASSESSMENT OF L_{A10} NIGHT NOISE LEVEL EMISSIONS
MECHANICAL SERVICES

Location	Assessable Noise Level dB(A)	Applicable Assigned Noise Level (dB(A))	Exceedance to Assigned Noise Level
North	25	35	Complies
East	18	35	Complies
South	34	35	Complies
West	31	35	Complies

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TABLE 6.6 – ASSESSMENT OF L_{A1} NIGHT PERIOD NOISE LEVEL EMISSIONS
CAR MOVEMENTS

Location	Assessable Noise Level dB(A)	Applicable Assigned Noise Level (dB(A))	Exceedance Assigned Noise Level
North	43	45	Complies
East	22	45	Complies
South	31	45	Complies
West	40	45	Complies

TABLE 6.7 – ASSESSMENT OF L_{Amax} DAY PERIOD NOISE LEVEL EMISSIONS
CAR STARTING

Location	Assessable Noise Level dB(A)	Applicable Assigned Noise Level (dB(A))	Exceedance Assigned Noise Level
North	49	65	Complies
East	36	65	Complies
South	42	65	Complies
West	44	65	Complies

TABLE 6.8 – ASSESSMENT OF L_{Amax} NIGHT PERIOD NOISE LEVEL EMISSIONS
CAR START

Location	Assessable Noise Level dB(A)	Applicable Assigned Noise Level (dB(A))	Exceedance to Assigned Noise Level
North	43	55	Complies
East	24	55	Complies
South	42	55	Complies
West	44	55	Complies

TABLE 6.9 – ASSESSMENT OF L_{Amax} DAY PERIOD NOISE LEVEL EMISSIONS
CAR DOOR

Location	Assessable Noise Level dB(A)	Applicable Assigned Noise Level (dB(A))	Exceedance to Assigned Noise Level
North	60	65	Complies
East	47	65	Complies
South	55	65	Complies
West	55	65	Complies

TABLE 6.10 – ASSESSMENT OF L_{Amax} NIGHT PERIOD NOISE LEVEL EMISSIONS
CAR START

Location	Assessable Noise Level dB(A)	Applicable Assigned Noise Level (dB(A))	Exceedance to Assigned Noise Level
North	55	55	Complies
East	36	55	Complies
South	55	55	Complies
West	55	55	Complies

7. CONCLUSION

Noise received at the neighbouring residences from the outdoor play area would comply with day period assigned noise level, with fencing as shown in Appendix A.

The air conditioning condensing units, being located within the drying court, have also been assessed to comply with the requirements of the *Environmental Protection (Noise) Regulations 1997* at all times.

It is noted that noise associated with cars movements and cars starting are exempt complying with the Regulations. However, noise emissions from car doors are not exempt from the Regulations. Noise received at the neighbouring residences from these sources would comply at all times, with the fencing, as shown in Appendix A and restrictions to the parking, as shown on Figure 5.1 in Section 5.

Thus, noise emissions from the proposed development, would be deemed to comply with requirements of the *Environmental Protection (Noise) Regulations 1997* for the proposed hours of operation, with the inclusion of the following:

- 1 Although the proposed facility would open before 7 am (ie during the night period) the outdoor play area would not be used until after 7am. Thus, noise received at neighbouring existing residences from the outdoor play area needs to comply with the assigned day period noise level.
- 2 Fencing to be as shown in Appendix A. We note that for this development, colourbond is an acceptable fencing material.
- 3 Parking to be restricted, as shown in Figure 5.1 in Section 5.
- 4 The air conditioning condensing units to be located within the drying court and / or to the west of the drying court (ie outside the staff room) and screened from neighbouring premises. Although compliance is achieved at full load, it is recommended that the air conditioning condensing units be installed with “quiet” night period modes.
- 5 As the air conditioning has not been design at this stage, it is recommended that the design be reviewed / assessed to ensure compliance with the Environmental Protection (Noise) Regulations 1997 are achieved and mitigation measures are as required for the final design.

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APPENDIX A

PLANS

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MANGLES STREET



SITE CRITERIA

1. Site Area	
a. Site Area	2024.9m ²
2. Landscaping	
a. Required 10% of Site Area	202.5m ²
b. Provided	685 m ² (29.4%)
Soft	104 m ²
Hard	879 m ²
Total	879 m²
3. Floor Area (CFA)	
Total	535m²
4. Carparking	
i. Cars Required	15 Staff Cars
a. 1:1 Staff	10 Visitors <u>Cars</u>
b. 1:10 Kiosk	25 Cars
Total Car required	
i. Cars Provided	15 Cars
a. Staff	10 <u>Cars</u>
b. Visitors	25 Cars

CHILD CARE CRITERIA

1. Centre capacity		92 places
a. Number of places		
2. Landscaping		64m²
a. Required Tree ¹ : child		6/10m²
b. Provided		7.3 m²
Total m² provided per child:		
3. Floor Area (GFA)		290m²
a. Area required		313.75m²
4. Room distribution		
a. Room <24 m		12 Places
Number of places	1:4 Staff	
Staff provided		3 Places
b. Room 24 – 36 m		20 Places
Number of places	1:5 Staff	
Staff required		4 Staff
Staff provided		30 Places
c. Room >36 m		30 Places
Number of places	1:10 Staff	
Staff required		3 Staff
Staff provided		30 Places
d. Room >48 m		30 Places
Number of places	1:10 Staff	
Staff required		3 Staff
Staff provided		
Total places		92 Places
Total Staff (+2 Staff (Chef, Manager))		15 Places

Landscaping
A, said Landscaping
Defined as paved walkways either open or covered,
B, Soft Landscaping
Defined as vegetation landscaping.

GROSS Floor Area - GFA
Gross Floor Area of a plot area is known as GROSS FLOOR AREA
A, Gross Floor Area is defined as
B, Definition of Gross Floor Area is defined as
C, GROSS FLOOR AREA OF TENANCY
Gross Floor Area of an individual Tenancy is defined as the area contained between the perimeter of common hallway and the outside edge of external walls
D, GROSS FLOOR AREA OF A BUILDING
Gross Floor Area of a Building is defined as the total area contained between the outside edges of external walls









Nett Floor Area - NFA
A, Nett Floor Area of a Tenancy on a plot is defined as the area between external or tenancy dividing walls
B, This area is exclusive of plot area and is known as the Tenancy.

SITE DESIGN CHECKLIST

- | | |
|--------------------------|---|
| <input type="checkbox"/> | 1. SEWER MAINS LOCATION TO BE DETERMINED |
| <input type="checkbox"/> | 2. FIRE MAINS PRESSURE TEST REQUIRED |
| <input type="checkbox"/> | 3. FIRE TANKS OR PUMPS TO BE DETERMINED |
| <input type="checkbox"/> | 4. WESTERN POWER TRANSFORMER LOCATION TO BE DETERMINED |
| <input type="checkbox"/> | 5. CROSSOVER & ACCESS TO STREET TO BE DETERMINED BY LOCAL AUTHORITY |
| <input type="checkbox"/> | 6. FULL FEATURE SITE SURVEY REQUIRED |
| <input type="checkbox"/> | 7. DIAL BEFORE YOU DIG REQUIRED |
| <input type="checkbox"/> | 8. BUSHFIRE ATTACK LEVEL (BAL) TO BE DETERMINED |
| <input type="checkbox"/> | 9. STREET POWER POLES TO BE DETERMINED |
| <input type="checkbox"/> | 10. SITE ZONING & USE TO BE DETERMINED |

NOTE: Any of the following items that do not have an 'X' in the provided square require determination.

LEGEND

- | | |
|---|---|
|  | BUILDING FOOTPRINT - SHOWROOM / WAREHOUSE / FACTORY |
|  | BUILDING FOOTPRINT - CHILDCARE CENTRE |
|  | EXTENT OF CONCRETE HARDSTAND |
|  | EXTENT OF ROADBASE HARDSTAND |
|  | EXTENT OF BITUMEN PAVING |
|  | EXTENT OF CERAMIC TILES |
|  | EXTENT OF BRICK PAVING / CONCRETE PAVING |
|  | EXTENT OF LANDSCAPING |

SITE PLAN

meyer
shircore
architects

CHILD CARE CENTRE SOUTH BUNBURY

LOCATION : 83 MANGLES & 6 MOSSOP STREET, SOUTH BUNBURY
FOR : STRATEGIC PROPERTY GROUP

DATE: MAY 2023 PROJECT NUMBER
REVISION: SK006 **22-9094**
SHEET: A - 1001 © Meyer Sincere & Associates ACN 115 180
SCALE: 1 : 100 @B1 Suite 2, Ground Floor 437 Roberts Road, Suite 200 VA 6
PO Box 1206 Suburban Lake 6905
E: 603 333 0510 E: ms@meyersinc.com

DEVELOPMENT ASSESSMENT PANEL

APPROVED
17-Jul-2023

MANGLES STREET

SITE CRITERIA

1. Site Area		
a. Site Area		2024.9m ²
2. Landscaping		
a. Required 10% of Site Area		202.5m ²
b. Provided	Soft	685 m ² (29.4%)
	Hard	134 m ²
	Total	879 m ²
3. Floor Area (GFA)		
	Total	535m ²
4. Carparking		
i. Cars Required		15 Staff Cars
a. 1:1 Staff		12 Visitors Cars
b. 1:10 Kids		25 Cars
	Total Car required	
i. Cars Provided		15 Cars
a. Staff		12 Cars
b. Visitors		25 Cars

CHILD CARE CRITERIA

1. Centre capacity		
a. Number of places		92 places
2. Landscaping		
a. Required 10% of 1 child		644m ²
b. Provided		679m ²
	Total m² provided per child	7.35 m ²
3. Floor Area (GFA)		
a. Area required		299m ²
b. Area provided		313.75m ²
4. Room distribution		
a. Room 1-24 m		
Number of places	1:4 Staff	12 Places
Staff provided		3 Staff
b. Room 24 - 36 m		
Number of places	1:5 Staff	20 Places
Staff provided		4 Staff
c. Room > 36 m		
Number of places	1:10 Staff	30 Places
Staff provided		3 Staff
d. Room > 36 m		
Number of places	1:10 Staff	30 Places
Staff provided		3 Staff
	Total places	92 Places
	Total Staff (+2 Staff (Chef, Manager))	15 Places

LEGEND

A. Retaining wall
B. Retaining wall and/or across other open or covered
C. Soft landscaping
D. Hard landscaping
E. Surface as required for footpath

Notes:
1. The area of the site is shown on CROSS FLOOR AREA.
2. The area of the site is shown on CROSS FLOOR AREA.
3. The area of the site is shown on CROSS FLOOR AREA.
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9. The area of the site is shown on CROSS FLOOR AREA.
10. The area of the site is shown on CROSS FLOOR AREA.

SITE DESIGN CHECKLIST

- ☐ 1. SEWER MAINS LOCATION TO BE DETERMINED
- ☐ 2. FIRE MAINS PRESSURE TEST REQUIRED
- ☐ 3. FIRE TANKS OR PUMPS TO BE DETERMINED
- ☐ 4. WASTEWATER POWER TRANSFORMER LOCATION TO BE DETERMINED
- ☐ 5. CROSSOVER & ACCESS TO STREET TO BE DETERMINED BY LOCAL AUTHORITY
- ☐ 6. FULL FEATURE SITE SURVEY REQUIRED
- ☐ 7. DIAL BEFORE YOU DIG REQUIRED
- ☐ 8. BUSHFIRE ATTACK LEVEL (BAL) TO BE DETERMINED
- ☐ 9. STREET POWER POLES TO BE DETERMINED
- ☐ 10. SITE ZONING & USE TO BE DETERMINED

NOTE: Any of the following items that do not have an 'X' in the provided square require determination.

LEGEND

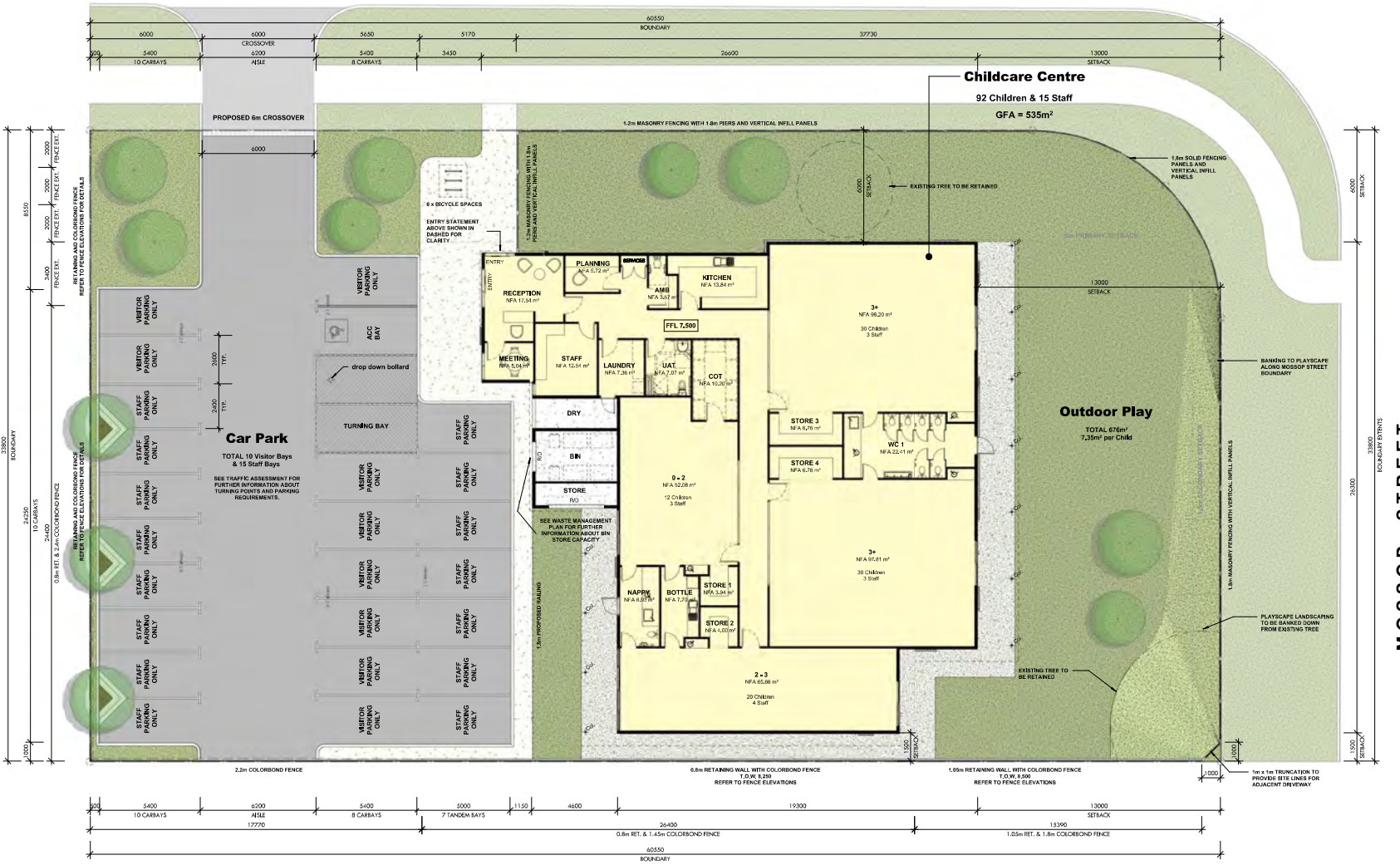
	BUILDING FOOTPRINT - SHOWROOM / WAREHOUSE / FACTORY
	BUILDING FOOTPRINT - CHILDCARE CENTRE
	EXTENT OF CONCRETE HARDSTAND
	EXTENT OF ROADBASE HARDSTAND
	EXTENT OF BITUMEN PAVING
	EXTENT OF CERAMIC TILES
	EXTENT OF BRICK PAVING / CONCRETE PAVING
	EXTENT OF LANDSCAPING

Childcare Centre

92 Children & 15 Staff
GFA = 535m²

Outdoor Play

TOTAL 676m²
7.35m² per Child



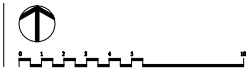
GROUND FLOOR PLAN

SCALE 1:100



CHILD CARE CENTRE SOUTH BUNBURY

LOCATION : 83 MANGLES & 6 MOSSOP STREET, SOUTH BUNBURY
FOR : STRATEGIC PROPERTY GROUP



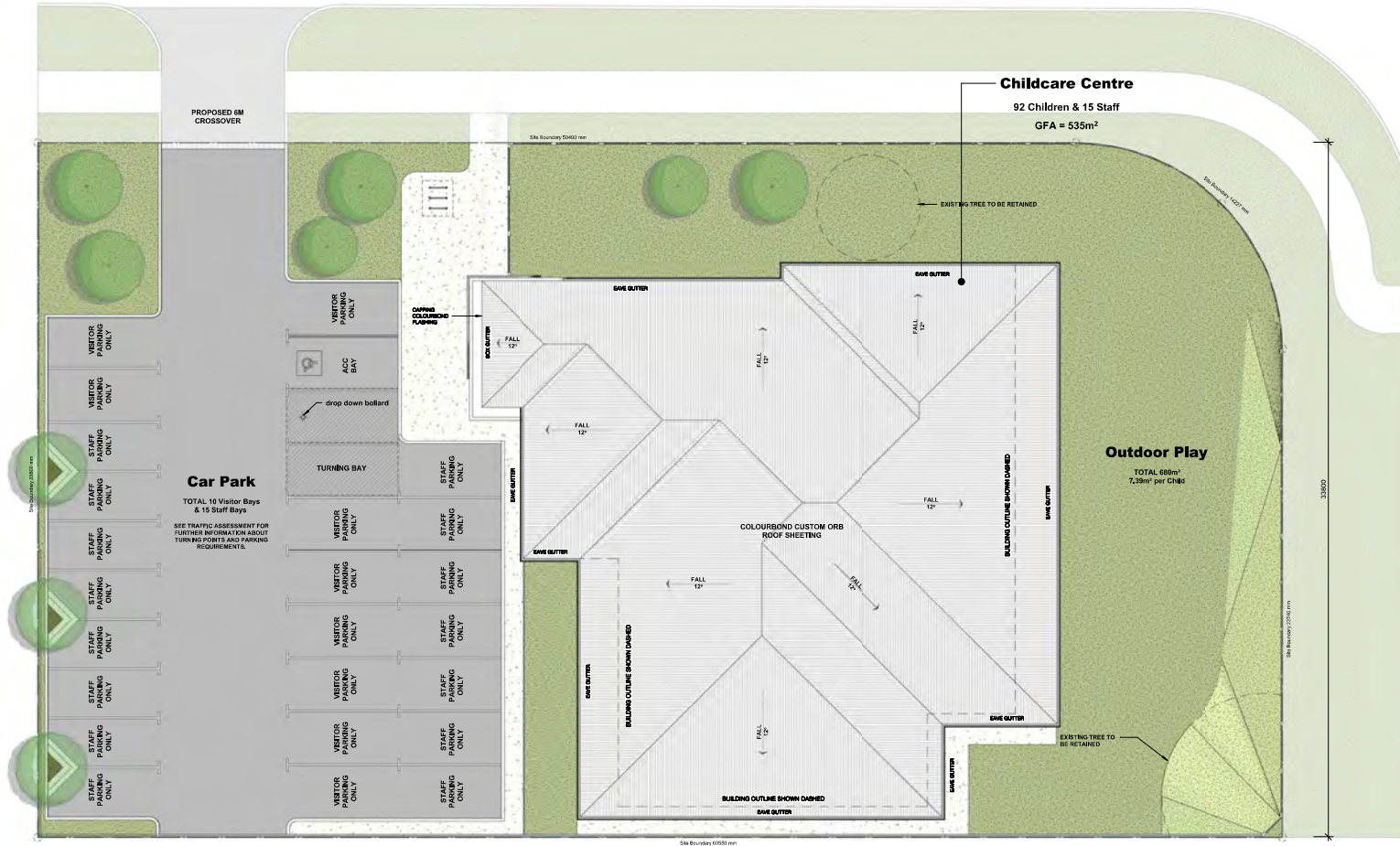
DATE: MAY 2023 PROJECT NUMBER
REVISION: SK006 **22-9094**
SHEET: 2000
SCALE: 1:100

DEVELOPMENT ASSESSMENT PANEL

APPROVED
17-Jul-2023

MANGLES STREET

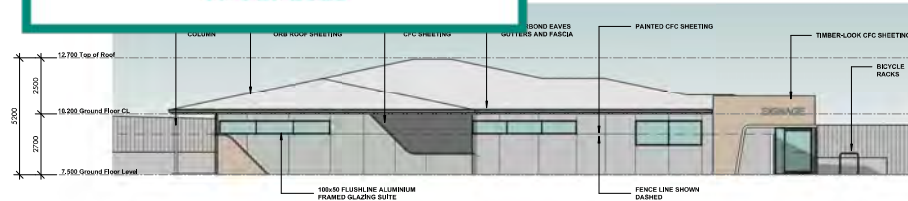
MOSSOP STREET



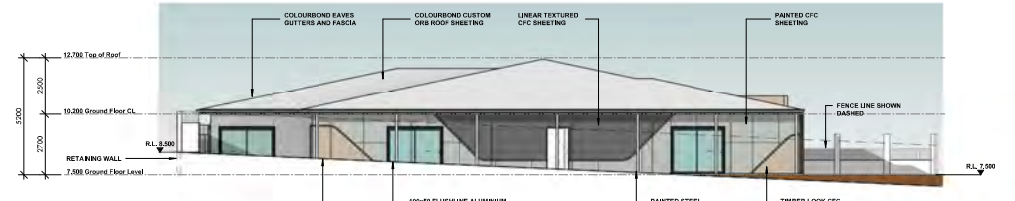
ROOF PLAN
SCALE: 1:100

DEVELOPMENT ASSESSMENT PANEL

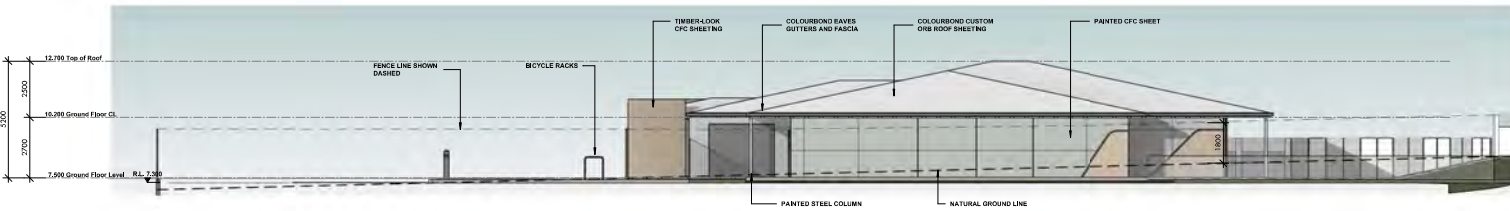
APPROVED
17-Jul-2023



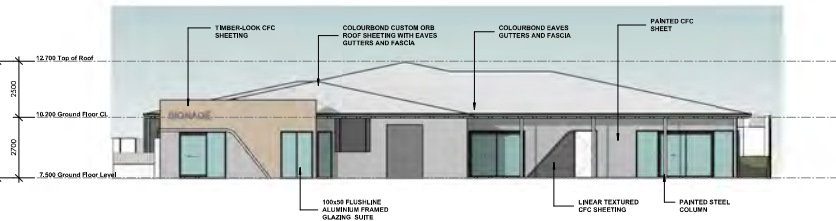
NORTH ELEVATION
SCALE: 1:100



EAST ELEVATION
SCALE: 1:100



SOUTH ELEVATION
SCALE: 1:100



WEST ELEVATION
SCALE: 1:100

17-Jul-2023



SCALE: 1 : 100



EAST
SCALE: 1 : 100



SCALE: 1 : 100



SCALE: 1 : 100



SCALE: 1 : 100

INCL. NEIGHBOURING FENCE

EMAIL TRANSMITTAL

REF: 31151-1-22388
TO: City of Bunbury
ATTN: Janet Offer
ADDRESS: joffer@bunbury.wa.gov.au
CC: [Steven DePiazzi \(Urbanista Town Planning\) –](#)
steven@urbanistaplanning.con.au
[Trent Fleskens \(Strategic Property Group\) –](#)
trent@strategicpropertygroup.com.au
FROM: Tim Reynolds
DATE: 12 June 2023
**SUBJECT: CHILD CARE CENTRE – 83 MANGLES & 6 MOSSOP STREET, SOUTH BUNBURY
RESPONSE TO COUNCIL'S QUERIES**

Janet,

As requested, we provide the following information with regards to the queries from the City of Bunbury.

From our discussion and your email of 09 June 2023, the Councils queries relate to :

- Can you please use the Association of Australasian Acoustical Consultants Guideline for Child Care Acoustic Assessment Version 3.0 (AAAC Guide) to reassess the Child Care Centre, particularly with regard to the children and age related noise levels rather than a single figure of 83db(A). Additionally the *Bush Kids Management Plan* outlines the 92 children to be of ages 6 weeks to 12 years of age. The Management Plan is the only document that refers to the 6-12 year age group. If it is confirmed that this age group is attending the Centre can you please provide predicted modelling for this age group also.
- The report did not address other mechanical services like the kitchen, bathroom and laundry exhaust fans.
- The initial report modelled the outdoor play area based on 90 children playing at one time with the total number of children being 96. The revised report modelled the outdoor play area based on 70 children playing at one time with only a reduction of 4 children (92 children). I am just wondering why it wasn't based on 90 children as per the original report?
- An additional outdoor play area is indicated on the site plan to the west (next to the car park). Was this included in the assessment?

With regards to the above we provide the following responses.

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17-Jul-2023

It has been requested by Council to undertake additional noise modelling using the Acoustical Consultants Guideline for Child Care Acoustic Assessment Version 3.0 (AAAC Guide).

We note that under the latest AAAC guideline the following is provided as the sound power level for outdoor play:

Table 1 – Effective Sound Power Levels ($L_{Aeq, 15min}$) for Groups of 10 Children Playing

Number and Age of Children	Sound Power Levels [dB] at Octave Band Centre Frequencies [Hz]								
	dB(A)	63	125	250	500	1k	2k	4k	8k
10 Children - 0 to 2 years	78	54	60	66	72	74	71	67	64
10 Children - 2 to 3 years	85	61	67	73	79	81	78	74	70
10 Children - 3 to 5 years	87	64	70	75	81	83	80	76	72

Notes:

- 1 If applicable, an adjustment to the above sound power levels of -6 dB could be applied in each age group for children involved in passive play.

The AAAC noise levels also note that an adjustment of -6 dB could be applied to children at passive play. Additionally, from the management plan, the number of children playing outside at anyone time would be as per the follow Table.

All children will not be outside at once – either as a whole centre or as a room/age group.

Typical daily outdoor play schedule for indoor/outdoor play											
Age group	7.00	8.00	9.00	10.00	11.00	12.00	13.00	14.00	15.00	16.00	17.00
0-2	Nil	Nil	8	Nil	Nil	Nil	Nil	8	Nil	Nil	Nil
2-3	Nil	Nil	10	10	10	Nil	Nil	Nil	10	10	Nil
3-5	Nil	Nil	Nil	28	28	Nil	28	28	28	28	Nil
Total	Nil	Nil	18	38	38	Nil	28	36	38	38	Nil

We note that council also queried whether children were located within the western outdoor area (adjacent to the car park). We note from the plans that this area could be used by 0 - 2 years or 2 - 3 years. From the above Table this could contain 10, 2 - 3 year old children. We note that due to the lay out of the centre, noise from this outdoor area is separated from the other main eastern / northern outdoor area and noise associated with children within the main eastern / northern outdoor area would NOT contribute to the noise emissions from this western outdoor area; or would noise from this western outdoor area contribute to noise emission from the main eastern / northern outdoor area. Noise received at the neighbouring residence to the south from the western outdoor play with 2 – 3 years old has been determined to be 43 dB(A), which complies with the assigned day period L_{A10} assigned noise level.

With regards to the main eastern / northern outdoor play area, we have undertaken additional modelling based on the AAAC sound power level for 3 – 5 year old children. The modelling indicates that the maximum number of 3 – 5 year old children within this area for which compliance would be maintain would be 40 children. We note that this does not allow for any children occupied in passive play, thus, the maximum number of 40 children within the main eastern northern outdoor play area would be considered conservative.

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17-Jul-2023

outside at any one time, as outlined in the management plan, would be that all 38 children could be within the main eastern / northern outdoor play area and compliance would still be achieved. This excludes the usage of the western outdoor area, which could accommodate all 12, 0 – 2 year olds and, say 10 children over 2 years.

Finally, we note that the noise modelling within the report being based on 70 children was approaching the number of children within the outdoor areas to determine the maximum number of children allowed outside at the one time.

Mechanical Services

As discussed, the noise modelling and assessment was based on the air conditioning condensing units only, for at this stage of the development it is not known whether the exhaust fans (ie kitchen, laundry and toilet) would be roof, wall mounted, ceiling mounted or fans within the ceiling space. With ceiling mounted or fans located within the ceiling spaces, the noise emission via the roof cowls or wall grille would be minimal. However, as requested we have undertaken additional modelling for the conservative case, with roof and wall mounted exhaust fans, as per below :

Kitchen Exhaust	-	Roof mounts with SWL of 76 dB(A).
Laundry Exhaust	-	Roof mounted with SWL of 72 dB(A).
UAT / Amenity / Nappy Change	-	Roof Mounted with SWL of 53 dB(A) (3 off).
WC 1	-	Wall mounted with SWL of 58 dB(A).

We note that the Kitchen laundry exhaust would be limited to the day period. However, the toilet / nappy exhaust fans could possibly operate during the night period (ie before 7am). Thus the noise modelling has been based on all equipment operating during the day, and with only the kitchen and laundry exhausts not operating during the night.

Based on the above and including the air conditioning condensing units, the noise received at the neighbouring residences has been determined to be as listed in Table 1.

**TABLE 1 - ACOUSTIC MODELLING RESULTS FOR L_{A10} CRITERIA
MECHANICAL PLANT**

Neighbouring Premises	Calculated Noise Level (dB(A))	
	Day Period	Night Period
North	36 (41)	21 (26)
East	33 (38)	17 (22)
South	34 (39)	30 (35)
West	33 (38)	29 (34)

() Includes +5 dB(A) penalty for tonality

Tables 2 and 3 summarise the applicable Assigned Noise Levels, and assessable noise level emissions for each identified noise.

2 – ASSESSMENT OF L_{A10} DAY PERIOD NOISE LEVEL EMISSIONS
MECHANICAL (DAY PERIOD)

Location	Assessable Noise Level dB(A)	Applicable Assigned Noise Level (dB(A))	Exceedance to Assigned Noise Level
North	41	45	Complies
East	38	45	Complies
South	39	45	Complies
West	38	45	Complies

TABLE 3 – ASSESSMENT OF L_{A10} NIGHT NOISE LEVEL EMISSIONS
MECHANICAL SERVICES (NIGHT PERIOD)

Location	Assessable Noise Level dB(A)	Applicable Assigned Noise Level (dB(A))	Exceedance to Assigned Noise Level
North	26	35	Complies
East	22	35	Complies
South	35	35	Complies
West	34	35	Complies

We note that, as stated in the Environmental Acoustic Assessment, it is noted that the mechanical services (air conditioning and ventilation) have not been designed at this stage of the project. Therefore, it is recommended that the final design be assessed for compliance with the requirements of the Environmental Protection (Noise) regulations 1997. We note that this could be a condition of development.

We trust that the above answers the City of Bunbury's queries.

Yours faithfully,
for **Herring Storer Acoustics**

Tim Reynolds

DEVELOPMENT
ASSESSMENT PANEL

APPROVED

17-Jul-2023

Bush Kids Bunbury Pty Ltd

Management Plan

Bush Kids Bunbury Pty Ltd
CHILD CARE CENTRE - 6 MOSSOP ST, BUNBURY.

Introduction

DEVELOPMENT SITE The childcare centre will be located at 6 Mossop Street and 83 Mangles Street, South Bunbury.

The Bush Kids Philosophy embraces the philosophy of developing deep connections to our natural environment through conserving and protecting our world and promoting a sustainable lifestyle for a better future for our children. Opportunities will be provided for children to explore, connect with, and protect nature, embrace the natural elements of fresh air and water, and develop lifelong habits to foster positive health, cognitive, social, and emotional well-being.

Bush Kids currently operate a busy childcare centre in Eaton and are overseeing the planning and construction of a new 86 place service at 77 Peel Terrace, Busselton. The company manager has worked in the children's services industry for nearly 40 years and has over 20 years' experience managing childcare centres both in Bunbury and Eaton. The Company will benefit from the economies of scale being the ability to swap staff, share administration, accounting, and marketing. The company will comply with:

- The National Law and Education and Care National Regulations
- The National Quality Framework
- The Children's Services Modern Award

Internal and External Fit Out

Bush Kids Bunbury will cater for the care and education of 92 children each day, aged 6 weeks-12 years of age.

Large indoor playrooms that cater for the developmental and care needs of the different age groups.

Large outdoor play spaces that promote the service philosophy and support physical activity and general positive wellbeing for children and educators.

Modern kitchen that will meet food safety standards for providing meals and snacks for children throughout the day.

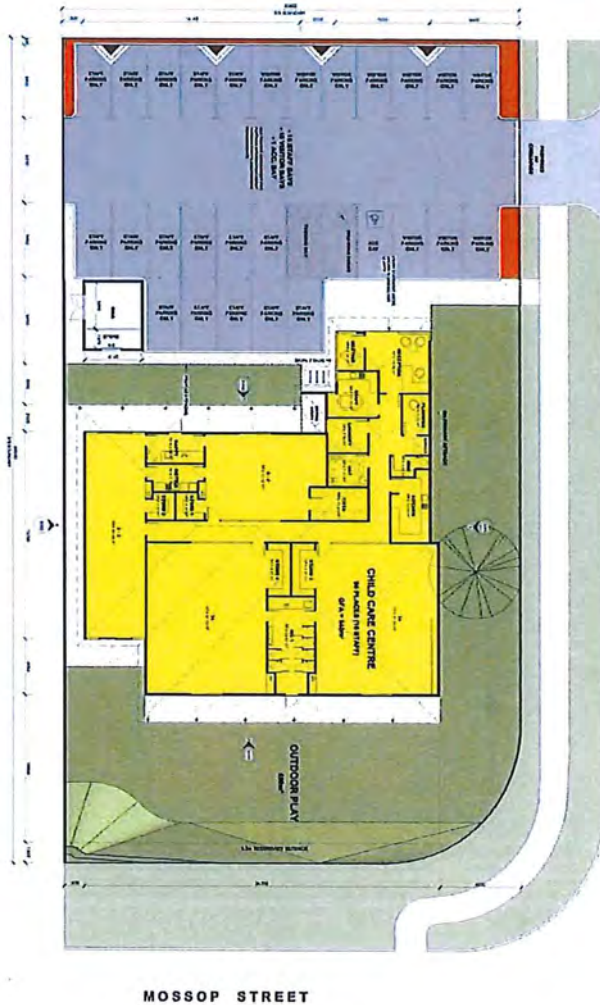
Contemporary care facilities (bathrooms, changerooms, bottle-making facilities, sleep areas, fencing/gates) that foster high quality hygiene, health, and safety measures for children.

Dedicated workspaces for staff.

Ample parking for staff, families, and visitors.

shircore CHILD CARE CENTRE SOUTH BUNBURY
LOCATED AT MANGLES STREET SOUTH BUNBURY
FOR THE PROPOSED PROPERTY GROUP

GROUND FLOOR PLAN



SITE CRITERIA	
1.1.1	Site Area
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1.1.200	Site Area

Operation

Typical Day

Two staff will commence at 6.30am to prepare centre for opening at 7.00am. Families will arrive gradually with peak arrivals between 7.30am-9.00am. Staff rosters are adjusted to meet correct staff/child ratios during these times with progressive start times (eg: 7.00am, 7.30am, 7.45am etc). Children will participate in indoor experiences between 7.00am-7.30am. Older children may participate in outdoor play (sandpit, climbing equipment, table activities on verandahs) after 7.30am – weather dependent. As more staff arrive, children will move to their designated play areas based on their age and development. Morning tea will be served 8.30am-9.00am. All groups of children will be offered a free flow program of indoor/outdoor activities, minimizing the management of large groups in any one space. Activities and experiences may include -Indoors: arts/crafts, construction, dramatic play, manipulatives, music, mat sessions.

Outdoors: sandpits, water play, climbing equipment, mud kitchens.

Lunch will be served 11.00am-12.30pm. After lunch all children will participate in sleep/quiet experience until approx. 2.30pm followed by afternoon tea. In the afternoon, all groups of children will be offered a free flow program of indoor/outdoor activities, minimizing the management of large groups in any one space. Peak departure times for children is usually 3.30pm-5.30pm and staff gradually finish during this time based on staff/child ratios. Two educators will close the Centre at 6.00pm and tidy up until 6.30pm.

Capacity and Staffing

The proposed use is similar in nature and operation to the currently approved childcare centre (EATON), and is summarised in the table below:

Provider	Bush Kids Bunbury Pty Ltd
Proposed Licensed Places	96 0-2s x 16 children = 4 staff 2-3s x 20 children = 4 staff 3-5s x 60 children = 6 staff
Age Group of Children	6 weeks – 12 years
Hours of Operation	7.00am – 6.00pm Monday – Friday Closed on weekends & public holidays. Closed during Christmas/new year period.
Number of Staff	16

Staff Rosters will adjust for the arrivals and departures of children. All rosters are planned to meet the National Education and Care Regulations for staffing regulations and qualifications.

6.30am opening	2 staff
7.30am 9.00am peak traffic flow	Staff gradual starts
3.30pm 5.30pm peak traffic flow	Staff gradual finishing
6.30pm closing & clean up	2 staff
9.00am-3.30pm	Deliveries, maintenance, and visitors
5.30am-6.30pm	Staff meeting once per month. No other after-hours events proposed.

Outdoor Play

The Centre has been designed with a large outdoor area, allowing children and educators a choice of space and freedom to move or the opportunity to create a quiet place to play.

Outdoor play is based on planned experiences, time, age of children, weather, and staff/child ratios. The centre will promote a free flow indoor/outdoor program to encourage small group play rather than whole group management. This will ensure that children are receiving the attention they need, individual care and their needs are met and meets best practice requirements. Each age grouping will have outdoor experiences that are planned with intent and purpose, based on individual observations and child focused, play based programs. Children will be offered a choice of planned experiences both indoor and outdoor.

Programs and routines are designed to reflect the individual and group needs of the room. For example, under 3s are more likely to have more indoor time due to lack of mobility and care routine times such as sleep/rest, bottles, nappy changing etc.

. Therefore:

All children will not be outside at once – either as a whole centre or as a room/age group.

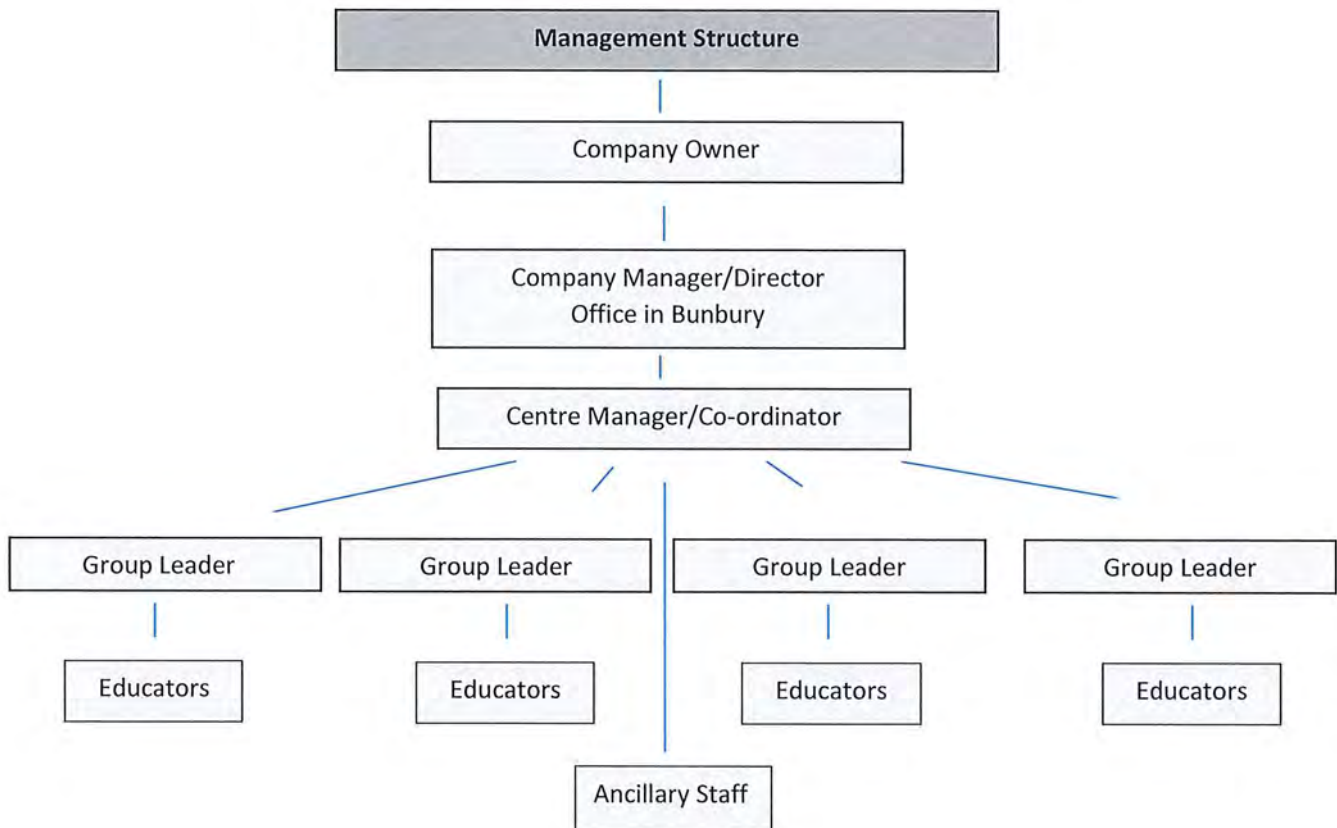
Typical daily outdoor play schedule for indoor/outdoor play											
Age group	7.00	8.00	9.00	10.00	11.00	12.00	13.00	14.00	15.00	16.00	17.00
0-2	Nil	Nil	8	Nil	Nil	Nil	Nil	8	Nil	Nil	Nil
2-3	Nil	Nil	10	10	10	Nil	Nil	Nil	10	10	Nil
3-5	Nil	Nil	Nil	28	28	Nil	28	28	28	28	Nil
Total	Nil	Nil	18	38	38	Nil	28	36	38	38	Nil

*The above is a guide for scheduling of outdoor play to staggering outdoor play time and limit the number of children outside at any one time. The Centre will promote indoor/outdoor play therefore groups will be separated – some children indoors/some outdoors. The individual numbers and times may vary day to day; however, the below rules will always be complied with.

Rules for outdoor play:

1. Total number of children outside at any one time will not exceed half of the age group (indoor/outdoor play) and children will utilize separate play areas.
2. Any children creating excessive noise (screaming etc.) will be settled inside by staff.
3. Music and movement activities will be carried out indoors.
4. The Bush Kids Philosophy is heavily inspired by the outdoors and therefore the programme is about respect for and being sustainable outdoors. This involves being aware of sharing the outdoors with the local flora and fauna and promoting care for local wildlife.
5. Bush Kids values the calmness that the outdoors brings and promotes this with purposeful experiences that encourages calm, positive well-being for children during outdoor play.

Bush Kids Bunbury Pty Ltd



Management of Impacts

The management team of the childcare centre are aware of the need to be considerate and courteous to neighbours and the surrounds in regard to factors that may potentially impact the community. The company will have policies and procedures that address these potential impacts.

The potential impacts considered in this management plan include noise, traffic and parking, and waste, discussed further below.

Noise Management

- Arrival and departure of vehicles – Staff parking has been allocated against the fence line which will reduce on-going potential noise to neighbours of car doors opening/closing, talking, children and car engines. The period between 6.30am - 7.00am will see minimal traffic as this is not a peak arrival time and the opening staff will use parking bays located closer to the building. The Centre will be closed at 5.30pm with all families and staff departed. The Centre will be closed on weekends and public holidays. The arrival and departure of maintenance, deliveries and other visitors will be restricted to 9.00am-3.30pm. Visitor and parent car parking is located near the building away from the fence line.
- Children, staff and general activity - The centre will promote a free flow indoor/outdoor program (half group size outside) to encourage small group play rather than whole group management therefore reducing the noise of children playing and voices of educators and children. The outdoor play spaces are predominantly located on the roadside of the Centre away from neighbours. The building is situated in the middle of the block which will minimize indoor general noise being heard outside. The Centre will be airconditioned/heated so windows will be closed for most parts of the day. Parent parking is located next to the building, away from the fence line which will minimize the noise of talking, children's noises etc on arrival and departure.
- General noise sources - The equipment utilised on site will not emit high noise levels and therefore not be a potential source for impact. Trees and gardens will be planted around fence lines in alignment with Centre philosophy - to absorb sound.

Traffic and Parking

Vehicle entry to the Centre will be via Mangles Street which would for the most part limit any traffic increase for Mossop Street. The parking and access arrangements are more than sufficient to cater to maximum number of persons anticipated to be on site at any one time; with 16 car bays for the 16 staff and maximum estimated 10 visitor bays and 1 ACC. Bay. Staff parking has been allocated against the fence line which will reduce potential on-going noise to neighbours.

To reduce the potential for traffic and parking impacts the following operational measures will be implemented:

- Staff roster has been staggered for staff arriving and departing.
- Families arriving and departing is staggered – no compulsory/finish start time.
- All visitors (non-parents) will be planned for non-peak arrival/departure times to minimize the risk of more than ten visitors being on site at any one time.
- Signage shall be provided in a location visible from the front of the site, directing clients utilise the parking provided closest to the building.
- Staff and visitors are to be discouraged from utilising on-street parking when attending the premises.

- A designated turning bay is provided to maintain traffic flow in the parking area.

Waste

The childcare centre will primarily generate waste which can be disposed of via the standard local government collection services and collected at the same time as the residential properties. In this regard, waste management will be indistinguishable from a typical residential property and therefore of no notable impact to the immediate locality.

To reduce the potential for impacts associated with waste collection the following measures will be implemented:

- The Centre will utilize the three-bin system provided as part of the local government residential bin collection service.
- As part of the Centre's ongoing sustainability program – staff, children and families will be educated on the preferred and correct use of the "organics bin", use of reusable cloth nappies and "reduce, reuse, recycle" programs.
- The bin storage area shall be kept free of clutter and dumped waste, with bins not permitted to sit open for extended periods of time.
- General waste bins and the bin storage area shall be cleaned on a regular basis by a nominated person.
- Full bins will be placed out to the street at the end of day for collection and returned to storage area as soon as possible after collection and not left out on the street for extended periods.

On-going Management

To ensure ongoing adherence to the management plan and accountability, responsibility shall be assigned to the Centre Manager (or delegated as appropriate) to ensure that all requirements of this management plan are met. In addition to the requirements outlined above, this includes the following tasks:

- Monitoring parking to identify instances of parking spill out onto Mangles Street. Should parking spill out become a regular occurrence, appropriate action is to be undertaken to manage staff and client numbers on site to mitigate the issue.
- Moving bins to and from the bin storage area to the presentation point on collection day.
- Regular inspection and cleaning/maintenance of external areas on site, including identification of any excess rubbish, and cleaning of bins and the bin storage area.
- Identification of any negative waste management behaviours and undertaking action as necessary to ensure the site is maintained in a sanitary condition.

COMPLAINT MANAGEMENT

Due to the location of the premises within a residential zone and adjacent to a residential dwelling, it is appropriate to provide the residents with a point of contact to inform operators of any excessive impacts or concerns to enable prompt rectification.

The nominated person of contact is:

Kathy McKrill (Manager/Director)

kathy@bushkidswa.com.au

(08)97251614

Prior to commencement of operation, nearby residential properties including at a minimum, 79, 81, 82, 84, 87, 88, Mangles St and 4, 8, 8a, 8b, 15 Mossop Street shall be provided with the contact details of the nominated person and advised to on the first instance report any issues or concerns to this person should they arise.

PROCEDURE

In the event a complaint is received the following steps shall be taken:

1. Creation of an entry into the register of complaints, outlining details of the issue.
2. Identification of the source of the issue and resolving any immediate impact as soon as practical.
3. Review of the circumstances which resulted in the issue occurring.
4. Determine whether any measures can be put in place to reduce likelihood of the issue reoccurring.
5. Respond to the complainant to advise of action taken to address the issue raised, and any preventative action taken to ensure likelihood of reoccurrence is minimised.
6. Complete entry details in the register of complaints.

In the event a complainant is unsatisfied with the action taken to address their issue and no further reasonable action can be taken to resolve the concerns, the matter is to be referred on to the local government for consideration.

REGISTER OF COMPLAINTS

A Register of Complaints shall be prepared and maintained by the nominated person, and available for inspection by an authorised officer of the local government. The register is to contain the following information for every complaint received:

1. The date and time of the complaint;
2. The name and address of the complainant;
3. The nature of the complaint;
4. Investigations carried out;
5. Action taken; and
6. Response provided to complainant.

DEVELOPMENT
ASSESSMENT PANEL

APPROVED

17-Jul-2023

